

# KEY TO DOWNTOWN IMPLEMENTATION PLAN



*Standards and Guidelines for the Public and Private Realms*



Compass Blueprint Demonstration Project  
Contract no. 10-004-B21  
June 22, 2010

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## “KEY TO DOWNTOWN” IMPLEMENTATION PLAN

Standards and Guidelines for  
the Public and Private Realms



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June 22, 2010

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EXISTING DOWNTOWN



EXTEND MAIN STREET TO THE LAKE



BRING THE WATER TO THE DOWNTOWN



Source: Lake Elsinore Downtown Master Plan

## FOREWORD

This Draft “Key to Downtown” Implementation Plan - Design Guidelines and Standards for the Public and Private Realms - has been prepared by Gruen Associates as the first part of the City of Lake Elsinore Downtown Master Plan Implementation for the area identified as “Key to Downtown”.

The “Key to Downtown” Implementation Plan is a project of the City of Lake Elsinore with funding provided by the Southern California Association of Governments’ (SCAG) Compass Blueprint Demonstration Project Program. Compass Blueprint assists Southern California cities and other organizations in evaluating planning options and stimulating development consistent with the region’s goals. The preparation of this report was funded in part through grants from the United States Department of Transportation - Federal Highway Administration and Federal Transit Administration. Additional assistance was provided by the State of California Business, Transportation and Housing Agency through a California Regional Blueprint Planning Grant.

The contents of this report reflect the views of the author who is responsible for the facts and accuracy of the data presented herein. The contents do not necessarily reflect the official views or policies of SCAG, USDOT or the State of California. This report does not constitute a standard, specification or regulation.

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### 1.1 Downtown Master Plan

In June 2009 the City of Lake Elsinore and the City of Lake Elsinore Redevelopment Agency in partnership with Cooper Carry, Downtown Solutions, Economic Planning Systems, Inc., and Fuscoe Engineering, as well as the local community, produced a Draft Downtown Master Plan with the purpose of providing an innovative urban design vision for the city's historic downtown area that embraces its historical past while providing a bold direction for its future development. The Draft Downtown Master Plan has been developed in three parts: Vision Plan, Market Study and "Downtowncode".

The Vision Master Plan crafts a vision for the future of downtown that is anchored in five Guiding Principles:

- Celebrate the lake
- Create a vibrant and sustainable downtown
- Create a civic identity
- Improve walkability and connectivity
- Develop an urban design framework and guidelines

To accomplish the vision proposed by the Plan, the Draft Downtown Master Plan establishes five (5) distinct walkable districts centered on Main Street, as shown in **Figure 1-1**.

- Gateway District
- Garden District
- Cultural District
- Historic District
- Waterfront District

The Market Study evaluates the market potential within the City's Draft Downtown Master Plan boundary. It provides a

framework for the development potential within the Project Area to assist the plan in developing realistic standards that promote adequate levels of development in the short run, without jeopardizing the opportunity for intensified levels of development in the longer run.

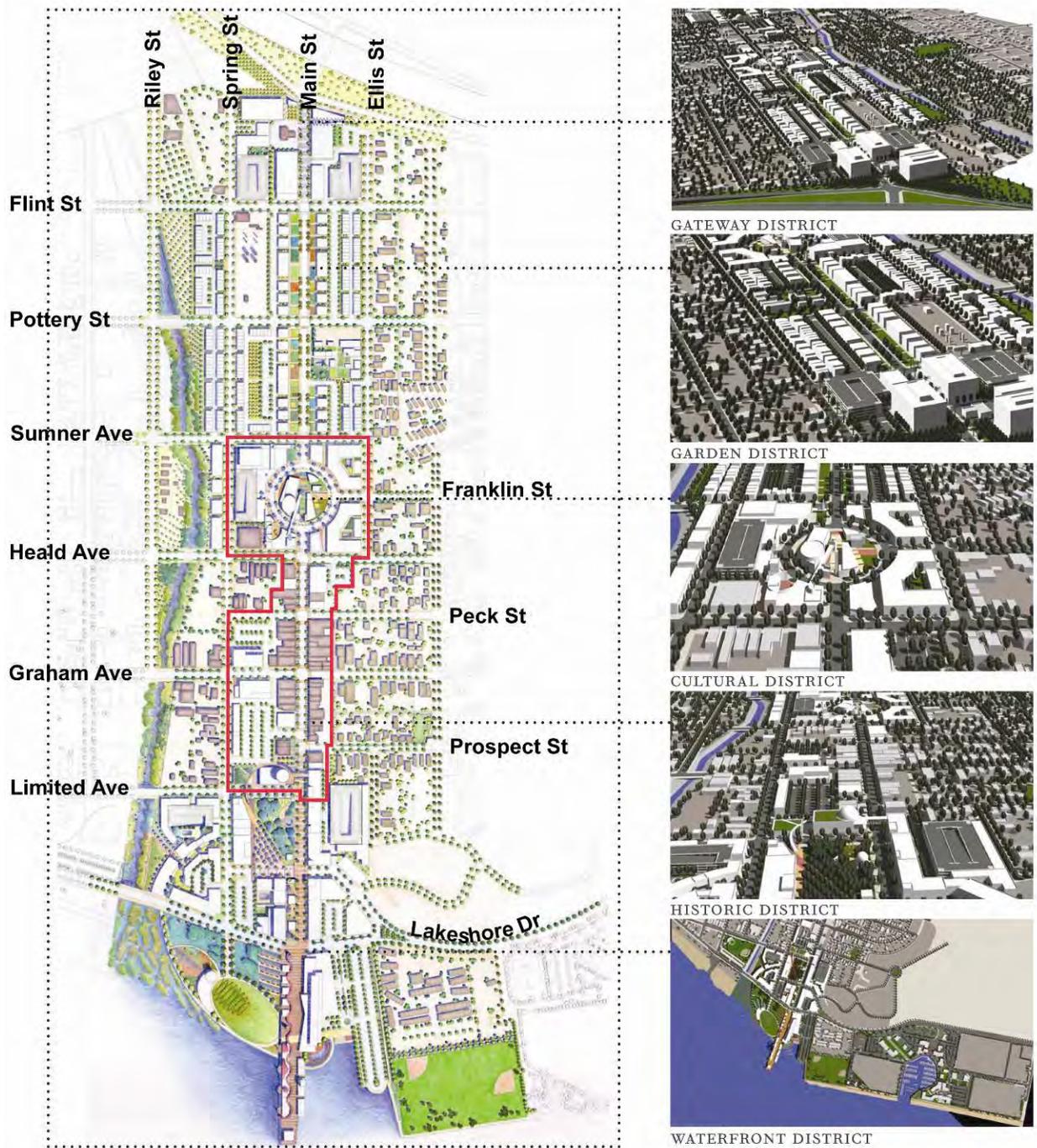
The Draft "Downtowncode: Land Use + Development Regulations" has been developed as the land use and development regulations of the Draft Downtown Master Plan. It is intended to encourage and facilitate infill development, mixed-uses, pedestrian scale, urban amenities, creative design, and the general revitalization of Downtown Lake Elsinore.

### 1.2 "Key to Downtown"

The "Key to Downtown" Area encompasses parts of the Cultural, Historic, and Waterfront Districts in the Downtown Master Plan, as shown in **Figures 1-1 and 1-2** and described below. The original boundary of the "Key to Downtown" in the Master Plan has been slightly changed to incorporate the existing parking lot at the southeast corner of Spring and Peck Streets.

#### Cultural District

The Cultural District is bounded by Sumner Avenue on the north side, Heald Avenue on the south side, Spring Street on the west side, and Ellis Street on the east side. The Downtown Master Plan recommends diverting Main Street around a circle centered on Franklin Street containing the historic Armory Building, and other civic uses such as a history museum, public library and/or post office.



**Figure 1-1:**  
**Downtown Master Plan Illustrative Plan and Districts with "Key to Downtown" Area Boundary**

Source: Gruen Associates; Base and renderings from the Lake Elsinore Draft Downtown Master Plan

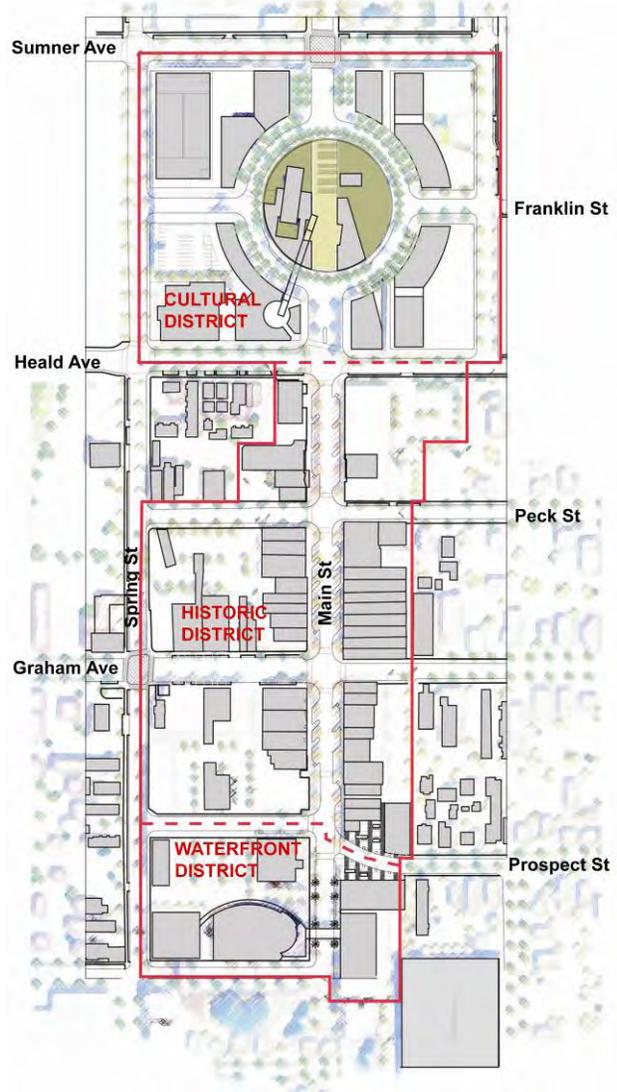
The civic uses are supplemented by mixed-use retail and residential developments on the east and west sides of the Circle. An alternative option for the Circle includes an open civic plaza that combines the Armory Building with a new contemporary addition to house a museum. In this option, the Library would be located as a gateway at the southwest corner of Main Street and Sumner Avenue.

### Historic District

The Downtown Master Plan highlights the historic character of this district as a priority and recommends that any major renovation or retrofit of existing buildings shall include the development of air rights above for up to 2 floors (residential or commercial uses) as activators on the street. The existing commercial core of Main Street, running roughly between Prospect and Peck Street, is where the historic character of downtown is most visible.

### Waterfront District

The Waterfront District celebrates its location on the lake as the centerpiece of a revitalized downtown and lakefront. A new Civic Center will be the cornerstone of the Waterfront District, with new government offices and council chambers, a town square, retail space, and a shared parking structure. A variety of mixed-use developments, with ground floor retail and residential above, will line Main Street. Main Street will be realigned to connect downtown to the lake terminating with a new pier.



**Figure 1-2:  
"Key to Downtown" Districts**

Source: Gruen Associates

### 1.3 Land Use and Zoning

The boundary of the Downtown Master Plan coincides with the boundaries of the Main Street Overlay in the City of Lake Elsinore's General Plan. The Zoning Districts described in this Section are those adopted in Chapter 2 – Community Form - of the City of Lake Elsinore General Plan and in the Downtowncode, and supersede those set forth in the Municipal Code Title 17.

The following Zoning Districts are located within in the 'Key to Downtown' Area, as shown in **Figure 1-3**. (For allowable uses refer to Detailed Land Use Matrix in Section 1.4 of the Downtowncode).

#### **Commercial Mixed Use**

This designation provides for a mix of commercial uses within a single proposed development area, with an emphasis on retail, service, civic and professional office uses. Residential uses are allowed in a subordinate capacity.

#### **Residential Mixed Use**

This designation provides for a mix of residential and non-residential uses within a single proposed development area, with an emphasis on high density residential uses. Uses such as retail, services, civic

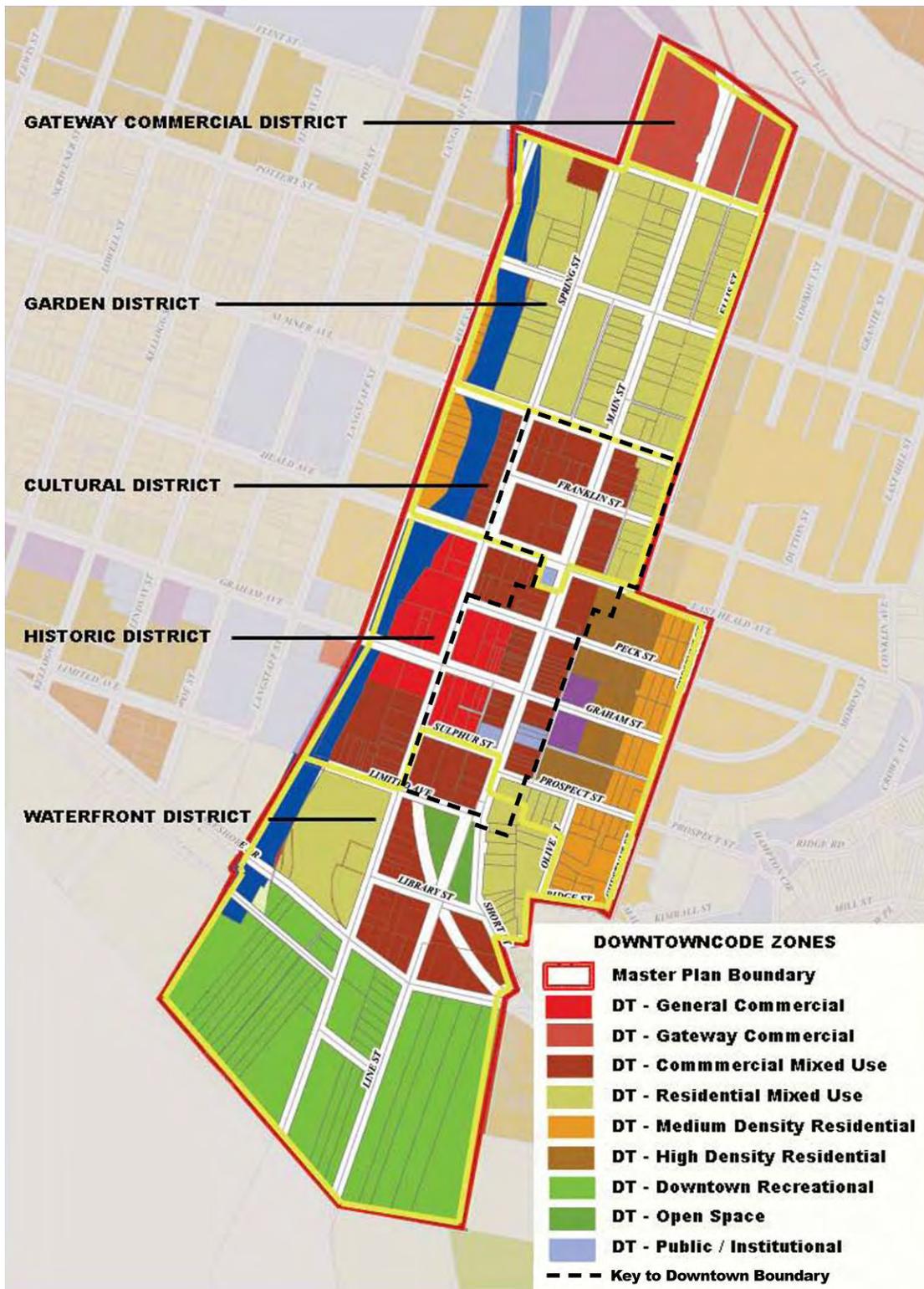
and professional offices are allowed in a subordinate capacity.

#### **General Commercial**

This designation provides for retail, services, restaurants, professional and administrative offices, hotels and motels, mixed-use projects, public and quasi-public uses, and similar and compatible uses.

#### **Public Institutional**

This designation indicates areas owned and maintained by public agencies such as school districts, water districts, utility companies, the County of Riverside and the City. Appropriate uses for this designation include schools, roads, utility substations, sewage treatment plants, civic facilities and cemeteries, and other similar and compatible uses. Churches and civic uses are appropriate, subject to a Conditional Use Permit, within the residential, commercial and business professional designations.



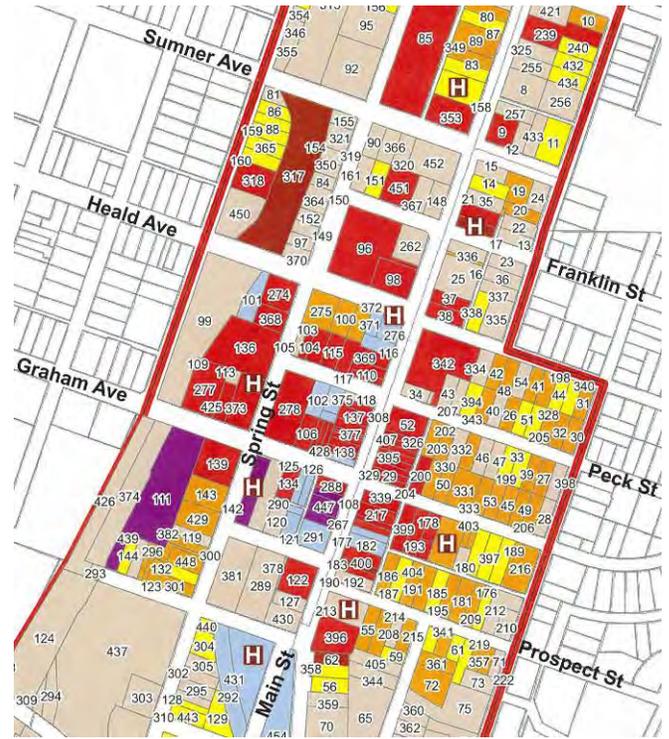
**Figure 1-3:**  
**Downtown Master Plan Boundary and Downtowncode Zones**  
 Source: City of Lake Elsinore

## 1.4 Existing Land Uses

Figures 1-4 and 1-5 show that approximately half of the Cultural District in the “Key to Downtown” area is currently vacant. The other half is occupied by commercial uses including a market and a restaurant, a church, in addition to three parcels occupied by single-family residences and two parcels occupied by multi-family residences.

The Historic District is mostly occupied by commercial retail uses. In addition, it contains the majority of public offices in the city, including the City Hall, and cultural uses in historic buildings such as the Cultural Center and the Chamber of Commerce. A few parcels are occupied by multi-family residences.

Most of the Waterfront District is vacant land with only two parcels occupied by commercial uses, containing a market and a car repair business.



## 1.5 Development Standards

The Draft “Downtowncode: Land Use and Development Regulations” defines specific criteria and standards for each of the five districts included in the Draft Downtown Master Plan. The criteria and standards address potential new development, principal uses encouraged, building placement and size, parking requirements, allowable building types, allowable building frontage types, allowable sign types, landscaping, as well as public realm and street sections.

Table 1-1 summarizes standards for private development in the ‘Key to Downtown’ area. Detailed and illustrated Standards and Guidelines are specified in Chapters 2 through 6 of this document.

### Real Use



**Figure1-4:**  
**Existing Land Use**  
Source: City of Lake Elsinore



**Figure 1-5:**  
**Aerial View of the “Key to Downtown” Implementation Plan Area**  
Source: Google

**Table 1-1: Summary of Development Standards for Private Development in the ‘Key to Downtown’ Area**

| <b>CULTURAL DISTRICT</b>                                 | <b>Land Use</b>  | <b>Building Type FAR</b>   | <b>Build to Line (feet)</b>  | <b>Max Height (feet)</b>   | <b>Setbacks</b>                      | <b>Residential Density</b>                           | <b>Parking</b>  |
|--|--|--|--|--|--------------------------------------|--|---|
| 2009<br><b>Draft Downtown Master Plan / Downtowncode</b> | Commercial Mixed Use*<br><br>(see Downtown Code for Allowable Uses)<br><br>*minimum 50% commercial uses          | Mixed Use-Commercial: 1.0<br><br>Mixed Use – Civic 1.2 for residential 1.0 for commercial<br><br>Retail 1.0<br><br>Cultural & Public 1.0 | Mixed-Use Commercial: 20’<br><br>Mixed-Use Civic: 25’<br><br>Retail Pavilions: 20’<br><br>Retail – East side of Main Street: 20’<br><br>Retail – West side of Main Street: 25’<br><br>Cultural & Public 1: 25’<br><br>Cultural & Public 2: 20’ | Retail Pavilions 20’<br><br>Mixed-Use Civic / Multi-Family Residence 45’<br><br>Courtyard Residence / Cultural & Public 45’<br><br>Mixed-Use Retail on Main Street 60’<br><br>Mixed-Use Commercial, Parking Deck 90’ – transition to 60’ adjacent to residential zones | Variable according to building types | 7-18 du/acre   | Cultural: TBD by parking analysis<br><br>Commercial: 5/1000 sqft<br><br>Office: 3/1000 sqft<br><br>Mixed use: Sum of all specific use requirements within each land use. However, with a shared parking analysis and a shared parking structure, the number of parking spaces may be reduced to reflect a more accurately derived parking demand. |
|  | Residential Mixed Use*<br><br>(see Downtown Code for Allowable Uses)<br><br>*20-35% non-residential use required | Courtyard Residence: 1.2<br><br>Multi-family Residence 1.2   | Courtyard Residence: 20’<br><br>Courtyard Residence Pedestrian paseo: 28’<br><br>Multi-family Residence: 20’<br><br>Parking Deck: 20’  | Courtyard Residence: 45’*<br><br>Multi-Family Residence: 45’*<br><br>*Transition to 35’ along Ellis Street   | Variable according to building types | 19 – 24 du/acre*<br><br>*Up to 35 du/acre with Bonus | Residential: 2 per unit<br><br>Project with 10+ residential units: 1 guest space / every 10 units   |

Table 1-1 (continued)

| HISTORIC DISTRICT                                   | Land Use  | FAR  | Build to Line (feet)   | Max Height (feet)  | Setbacks                                   | Residential Density               | Parking   |
|---|---|--|--|--|--|-----------------------------------|---|
| 2009<br>Draft Downtown Master Plan/<br>Downtowncode | Commercial Mixed Use<br>General Commercial<br>Public Institutional<br><br><u>Encouraged Uses</u><br><br>Civic<br>Retail<br>Restaurants<br>Offices<br>Administrative Services<br>Research and Development<br>Residential over retail | General Commercial:<br>0.4<br><br>Civic, Commercial,<br>Office & Residential<br>Mixed Use<br>0.8<br><br>Civic & Retail:<br>0.8 | Civic,<br>Commercial,<br>Office,<br>Residential,<br>Mixed Use,<br>Retail:<br>20' | Civic,<br>Commercial,<br>Office,<br>Residential,<br>Mixed-Use, &<br>Retail:<br><br>45' (Main St)<br>60' (other<br>streets) | Variable<br>according to land<br>use types | Mixed Use :<br><br>7 - 18 du/acre | Civic: TBD per<br>parking analysis<br><br>Commercial:<br>5/1000 SF<br><br>Office: 3/1000 SF<br><br>Residential:<br>2 per unit<br><br>Project with 10+<br>residential units: 1<br>guest space /<br>every 10 units<br><br>Mixed Use: Sum<br>of all specific use<br>requirement.<br>However, with a<br>shared parking<br>analysis and a<br>shared parking<br>structure, the<br>number of parking<br>spaces may be<br>reduced to reflect<br>a more accurately<br>derived parking<br>demand. |

**Table 1-1 (continued)**

| <b>WATERFRONT DISTRICT</b>   | <b>Land Use</b>   | <b>FAR</b>   | <b>Build to Line (feet)</b>  | <b>Max Height (feet)</b>  | <b>Front Setbacks</b>                | <b>Parking</b>   |
|--|---|--|--|---|--------------------------------------|--|
| 2009<br><b>Draft Downtown Master Plan</b><br><br><b>Downtowncode</b> | Commercial /Mixed-Use<br><u>Encouraged Uses</u><br><br>Civic Learning Center<br>Retail<br>Restaurants<br>Offices<br>Entertainment<br>Specialty Retail<br>Boutique Hotel | Resort Hotel and Retail Pavillion:<br>0.4<br><br>Retail:<br>0.8<br><br>Mixed-Use – Hotel and Retail:<br>1.0<br><br>Mixed Use Civic, Commercial, Office & Residential:<br>1.0 | Mixed-Use Civic, Commercial, Office, Hotel and Residential:<br>20' | Civic Learning Center<br>60'<br><br>Commercial Uses<br>60'<br><br>Parking Structure:<br>60' | Variable according to land use types | Commercial:<br>5/1000 sq ft<br><br>Office:<br>3/1000 sq ft<br><br>Hotel: 1 per room<br><br>Mixed Use: Sum of all specific use requirements. However, with a shared parking analysis and a shared parking structure, the number of parking spaces may be reduced to reflect a more accurately derived parking demand. |

## 1.6 Street Hierarchy Categories and Street Tree Palette

The Downtown Master Plan establishes the street hierarchy categories within the Downtown boundary as shown in **Figure 6**. The following streets are located within the 'Key to Downtown' Implementation Plan area:

### Great Streets

Main Street

### Service Streets

Spring Street

### Green Streets

Sumner, Heald and Graham Avenues

### Civic Streets

Franklin, and Limited Avenues

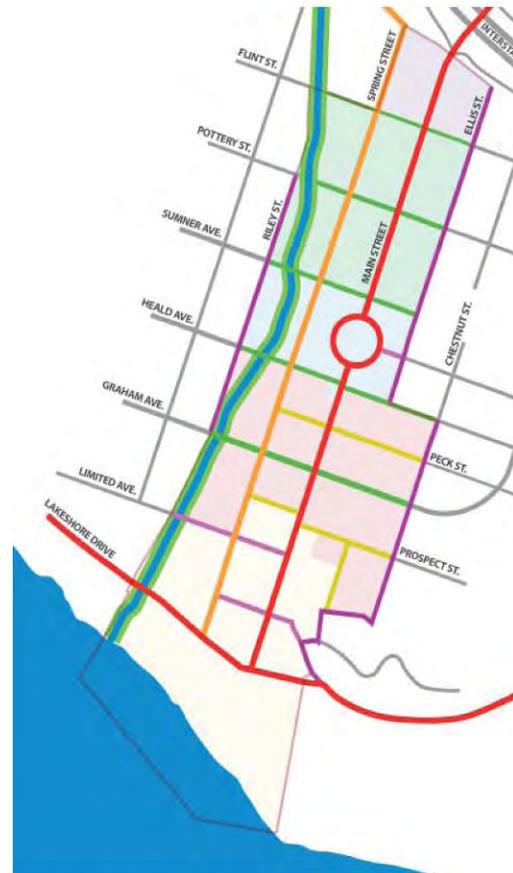
### Edge Streets

Ellis Streets

### Neighborhood Streets

Peck, Sulphur and Prospect Streets

**Table 1-2** presents standards for the streets as specified in the "Downtowncode" of the Draft Downtown Master Plan.



street hierarchy diagram

### LEGEND



**Figure 1-6:**  
**Street Hierarchy per Downtown Master Plan "Key to Downtown" Area**  
 Source: Draft Downtown Master Plan

**Table 1-2: Street Standards within the “Key to Downtown” Area**

Source: Lake Elsinore Draft Downtowncode

|  | ROW width         | Travel Lanes                                     | Parking  | Pavement Width | Sidewalk Width and Parkway  | Street Tree Palette  |
|--|-------------------|--|--|----------------|---|--|
| <b>Great Street</b>  |                   |  |  |                |   |  |
| <u>Cultural District</u><br>( The Circle)                                | 72'               | (2) 12' travel lanes (one-way)                   | No parking   | 24'            | 20' inner circle<br>28' outer circle<br>-20' sidewalk<br>-8' landscape              | Jacaranda mimosifolia (Jacaranda)<br><br>Washingtonia robusta (Mexican Fan Palm) |
| <u>Historic District</u><br>Reconfigured Main Street (Heald to Prospect) | 70'               | (2) 12' travel lanes (two-way)                   | 8' parallel parking lanes with new porous paving on both sides       | 40'            | 15' including street trees  | Plantanus x acerfolia 'Bloodgood' (London Plane)                                 |
| <b>Civic Streets</b>   |                   |  |  |                |   |  |
| Franklin Street  | Varies 56'-60'*   | (2) 12' travel lanes (two-way)                   | 8' parallel parking lanes with porous pavement on one side of street | 32'            | 5' on one side; Variable 8'-25' on the other side<br>-or-<br>12' – 14' on each side | Jacaranda mimosifolia (Jacaranda)  |
| Limited Street   | 60'               | (2) 12' travel lanes (two-way)                   | 8' parallel parking lanes with porous pavement on one side of street | 32'            | 5' on one side; Variable 8'-25' on the other side<br>-or-<br>14' on each side       | Cinnamomum camphora (Camphor)  |
| <b>Service St.</b>   |                   |  |  |                |   |  |
| Spring Street  | 70' Downtown Code | (4) 12' inner lanes<br>13' outer lanes (two-way) | No parking   | 60'            | Recommend increasing sidewalk to 10' and reducing pavement so trees are feasible    | Arbutus marina (Strawberry Tree)   |

\*City to verify – discrepancy between Downtown Master Plan and Downtowncode

**Table 1-2 (continued)**

|                      | <b>ROW width</b>        | <b>Travel Lanes</b>                            | <b>Parking</b>   | <b>Pavement Width</b> | <b>Sidewalk Width and Parkway</b>       | <b>Street Tree Palette</b>  |
|----------------------|-------------------------|--|--|-----------------------|---|---|
| <b>Green Streets</b> |                         |  |  |                       |   |   |
| Sumner Avenue        | 68'–70'                 | (2) 12' travel lanes (two-way)                 | 8' parallel parking lanes with porous pavement on both sides of street                 | 50' *                 | 8'-10' each side                        | Koelreuteria bipinnata (Chinese Flame) *<br><br>8' minimum sidewalk required for trees. |
| Heald Avenue         | 56'-68' (Downtown Code) | (2) 12' travel lanes (two-way) (Downtown Code) | 8' parallel parking lanes with porous pavement on both sides of street (Downtown Code) | 40' (Downtown Code)   | 5'-20' (Downtown Code)                  | Koelreuteria bipinnata (Chinese Flame)<br><br>8' minimum sidewalk required for trees.   |
| E. Graham Ave.       | 50'                     | 2 (11') travel lanes (two way)                 | 8' parallel parking lanes with porous pavement on both sides of street                 | 38'                   | 6' both sides                           | Eucalyptus sideroxylon (Red Iron Bark)  |
| W. Graham Ave.       | 80'                     | (4) 12' travel lanes (two way)                 | No parking   | 48'                   | 16' both sides (including bioretention) | Eucalyptus sideroxylon (Red Iron Bark)  |

\*City to verify – discrepancy between Downtown Master Plan and Downtowncode

Table 1-2 (continued)

|   | ROW width | Travel Lanes                   | Parking  | Pavement Width | Sidewalk Width and Parkway   | Street Tree Palette                             |
|---|-----------|--------------------------------|--|----------------|--|---|
| <b>Neighborhood Streets</b><br><br>Peck, Sulphur and Prospect Streets | 45'-60'   | (2) 12' travel lanes (two-way) | 8' parallel parking lanes with porous pavement on one side of street | 32'            | For Sulphur Street 14' both sides<br><br>For Prospect Street 8' one side and 5' other side | X Chitalpa tashkentensis (Chitalpa)             |
| <b>Edge Streets</b><br><br>Ellis Street                               | 60'       | (4) 12' travel lanes (two way) | No parking   | 44'            | 8'   | Platanus x acerfolia 'Bloodgood' (London Plane) |

**Main Street**

Main Street traverses the City of Lake Elsinore in a north/south direction connecting Interstate 15 to the north to Downtown in the south. Within the “Key to Downtown” Area, the right-of-way along Main Street varies from approximately 72 to 90 feet with one to two travel lanes in each direction.

As the spine of the Downtown, Main Street is classified as a “Great Street” within the “Key to Downtown” Area. **(Figure 1-7)** Despite its single classification as a Great Street, Main Street changes its character as it crosses each of the three distinct districts.

In the **Cultural District** the Downtown Master Plan proposes the creation of a one-way Circle on Main Street at the Franklin Street intersection as the primary organizing circulation element for the cultural activities within the District. Lined

by trees, and planned as the centerpiece of the Cultural District, the Circle acts as a gateway to the historic downtown for those approaching it from the north via the I-15 Freeway.



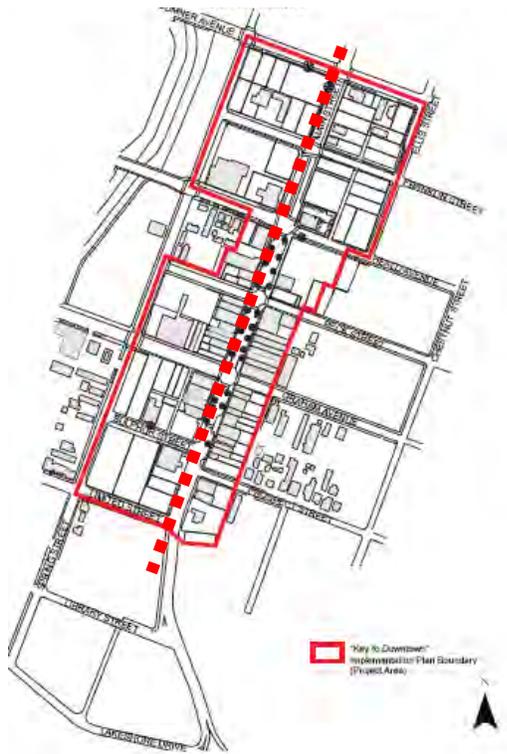
Throughout the **Historic District**, from the Sulphur Street intersection up to the Heald Avenue intersection, Main Street retains its current promenade configuration as a tree-lined two-way street. The Downtown Master Plan proposes reconfiguring the existing diagonal parking on both sides of the street with parallel parking to allow extra sidewalk width and space for outdoor dining areas. This Implementation Plan proposes a short term solution in which

the diagonal parking configuration is retained, and a few parking spaces are replaced with removable outdoor dining decks at select locations.

As it enters the **Waterfront District**, Main Street becomes the address of the proposed Civic Center Complex with the City Hall building on the west side of the street and the Council Chambers building on the east side. The Downtown Master Plan proposes a pedestrian bridge over Main Street to connect the City Hall and the Council Chambers buildings. At this point, Main Street starts to transition in character from a quaint historic downtown feel to the festive atmosphere of the Waterfront District.

## 1.7 Districts at-a-Glance

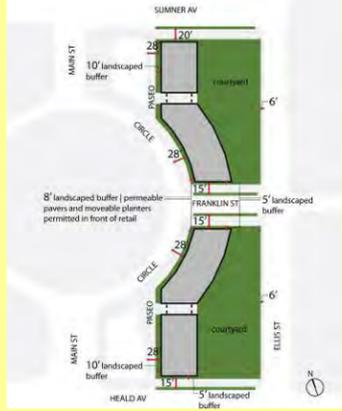
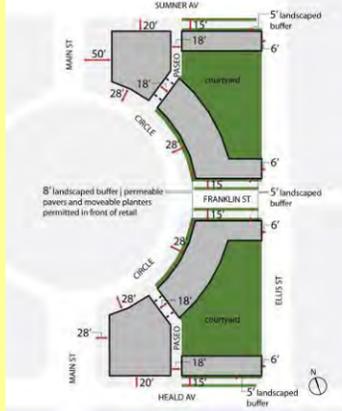
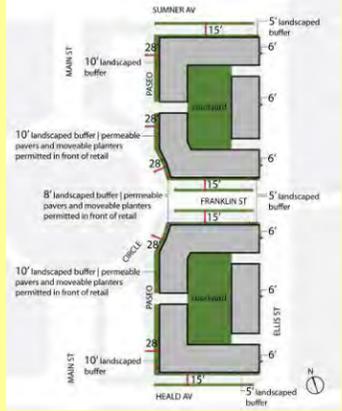
**Tables 1-3 through 1-5** describe the building typologies and massing prevalent in each of the Key to Downtown districts.



**Figure 7:**  
**Main Street as the Spine of the “Key to Downtown” Area**  
Source: Gruen Associates

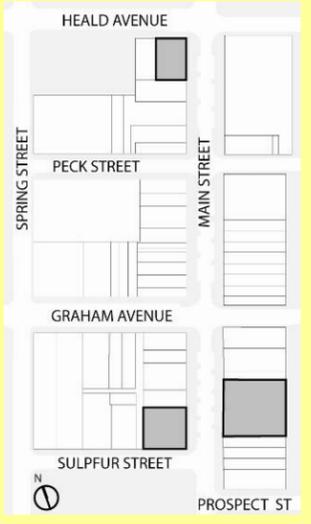
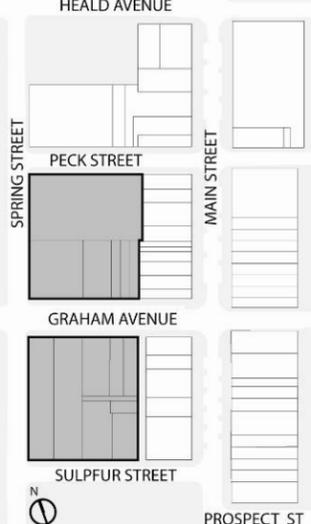
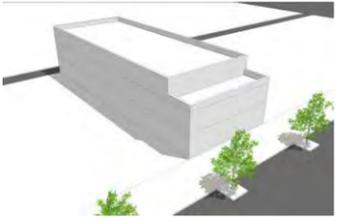
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Table 1-3: Cultural District at-a-Glance

| CULTURAL DISTRICT<br>Mixed-Use Residential |   |  |   |  |   |
|--|---|--|---|--|---|
| Building Typologies                        | Residential / Retail  | Courtyard Apartment  | Live / Work   | Parking  |   |
|  |  <p><b>ALTERNATIVE A (150' radius)</b></p> |  <p><b>ALTERNATIVE B (150' radius)</b></p> |  <p><b>ALTERNATIVE A (130' radius)</b></p> |  <p><b>WESTSIDE</b></p> | <p><b>EASTSIDE</b></p>  |
| <b>FAR</b>                                 | 1.2   |  | 1.2   |  | n/a   |
| <b>Residential Density</b>                 | 19-24 du/acre - 35 du/acre with bonus   |  | 19-24 du/acre - 35 du/acre with bonus   |  | NO RESIDENTIAL UNITS  |
| <b>Max Height (feet)</b>                   | 45  |  | 45  |  | 90  |
| <b>Build to Line</b>                       | 28' (Main Street Circle) / varies at other locations  |  | 28' (Main Street Circle) / varies at other locations  |  | 15' or 5' setback from sidewalk, whichever is greater                                 |
| <b>Number of Parking Spaces</b>            | 2 per unit / 1 guest space per 10 units   | 2 per unit / 1 guest space per 10 units  | 2 per unit / 1 guest space per 10 units   |  | 614 (may vary depending on proposed development)                                      |
| <b>Building Type</b>                       |    |    |    |                       |  |
| <b>Building Massing</b>                    |    |    |    |  |  |

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Table 1-4: Historic District at-a-Glance

| HISTORIC DISTRICT               |                        |  |                      |   |   |                    |   |
|---------------------------------|------------------------|--|----------------------|---|---|--------------------|---|
| Building Typologies             | Public / Institutional | 2-3 Story Retail / Office / Civic  | Mixed-Use Commercial | 2-3 Story Retail / Residential / Office (New Development)                             | 1-2 Story Residential / Office over Existing 1-2 Story Retail                         | General Commercial | 2-3 Story Retail / Residential / Office (New Development – Requires Rezoning from General Commercial to Mixed-Use Commercial for Residential Component) |
|                                 |                        |    |                      |    |    |                    |    |
| <b>FAR</b>                      |                        | 0.2  |                      | 0.8 + 20% bonus   | 0.8 + 20% bonus   |                    | 0.4   |
| <b>Residential Density</b>      |                        | n/a  |                      | 7-18 du/a   | 7-18 du/a   |                    | n/a (7-18 du/a proposed with rezoning to Mixed-Use Commercial)  |
| <b>Max Height (feet)</b>        |                        | 45'  |                      | 45' (Main Street) / 60' (other streets / 45' preferred)                               | 45'   |                    | 60' (45' preferred)   |
| <b>Build to Line</b>            |                        | 20' (Main Street) / varies on other streets  |                      | 20' (Main Street) / varies on other streets   | 20' (Main Street) / varies on other streets   |                    | 20' (Main Street) / varies on other streets   |
| <b>Number of Parking Spaces</b> |                        | varies per square footage of proposed development                                    |                      | varies per square footage of proposed development                                     | varies per square footage of proposed development / off site parking                  |                    | varies per square footage of proposed development   |
| <b>Building Type</b>            |                        |  |                      |  |  |                    |    |
| <b>Building Massing</b>         |                        |  |                      |  |  |                    |    |

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Table 1-5: Waterfront District at-a-Glance

| WATERFRONT DISTRICT<br>Mixed-Use Commercial |   |   |   |   |
|---|---|---|---|---|
| Building Typology                           | Cultural Public /Retail   | Retail / Office   | Retail Pavilion   | Parking   |
|   |    |    |    |    |
| <b>FAR</b>                                  | 0.8:1 + 20% bonus   | 0.8:1 + 20% bonus   | 0.8:1 + 20% bonus   | n/a   |
| <b>Residential Density</b>                  | NO PLANNED RESIDENTIAL UNITS  | NO PLANNED RESIDENTIAL UNITS  | NO PLANNED RESIDENTIAL UNITS  | NO PLANNED RESIDENTIAL UNITS  |
| <b>Max Height (feet)</b>                    | 60  | 60  | 20  | 60  |
| <b>Build to Line</b>                        | varies  | 20' (Main Street) / varies on other streets   | 20' (Main Street) / varies on other streets   | 20' (Main Street) / varies on other streets   |
| <b>Number of Parking Spaces</b>             | to be determined by parking analysis  | varies per square footage of proposed development                                     | varies per square footage of proposed development                                     | to be determined by parking analysis  |
| <b>Building Type</b>                        |  |  |  |  |

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## 2.1 Purpose

The purpose of the Draft "Key to Downtown" Implementation Plan is to provide Standards and Guidelines for the Public and Private Realms that are specific to the "Key to Downtown" area, and follow, complement, refine, and detail the standards and guidelines in the "Downtowncode" of the Downtown Master Plan.

## 2.2 Organization and Content

Standards and Guidelines are presented in separate chapters for each District within the 'Key to Downtown" Area. Each chapter presents standards and guidelines for both the public and private realms of each District separately. General Standards and Guidelines that are applicable to all the three districts (Cultural, Historic and Waterfront) are presented in Chapter 2.

**Standards** are mandatory for all future private development within the 'Key to Downtown" Area in order to gain project approval from the City. The word "shall" denotes a standard.

**Guidelines** are recommendations which guide how a project should be designed to achieve the overall intent and vision for the area where it is located. While they are not absolute requirements like development standards, guidelines are used by the City staff to evaluate proposed development in order to implement the vision in the Downtown Master Plan and to achieve high quality public and private development. Guidelines typically use the word "should" and are more flexible.

## 2.3 Public Realm Scope and Applicability

According to the City of Lake Elsinore Zoning Code Section 17.08.160, "**Public**" means belonging, or open to, enjoyed and used by and / or maintained for the public generally, but not limited to a facility the control of which is wholly or partially exercised by some governmental agency including the City of Lake Elsinore.

In this "Key to Downtown" Implementation Plan, Public Realm generally refers to the streets, sidewalks, crosswalks and public open space.

Public Realm Standards and Design Guidelines are applicable within the public right-of-way and are based on a conceptual level streetscape plan that addresses the following elements:

- Street cross-sections
- Sidewalk widths, treatment and conceptual designs including examples of decorative special in-street paving and hardscape features and general locations per District.
- Street Furniture palette per District including benches, bike racks, trash receptacles, bollards, drinking fountains, newspaper racks, etc., all ADA compliant.
- Core Intersection concepts and aesthetically enhanced crosswalks.
- Landscaping concepts including plant palette list, planter and tree well per District.
- Public Open Space Concept Designs including pocket parks, courtyards, and plazas.
- Street Lighting and Decorative Lighting concepts and standards

- including tree up-lighting and typical locations per District.
- Signage and Gateway location and typical Way Finding Signage concepts, including decorative banners and a flag theme, and advertising kiosk concept designs and typical locations per district.
- Transit stops (location and examples).
- Public parking (surface and decks).

## 2.4 Private Realm Scope and Applicability

According to the City of Lake Elsinore Zoning Code Section 17.08.160, “Private” means belonging to or restricted for the use or enjoyment of particular persons.

This Private Realm Section of the “Key to Downtown” Implementation Plan expands and details those standards in the Downtowncode listed below. It introduces Design Guidelines to facilitate the implementation of the Downtown Master Plan in the ‘Key to Downtown” Area.

### A. Downtowncode

**Section 1.3** of the Downtowncode provides Development Standards for the Downtown area that is applicable within the Private Realm and addresses the following elements for each District:

- Principally Allowable Uses
- Building Placement and Size
- Allowable Building Types
- Allowable Building Frontage Types
- Parking
- Allowable Sign Types
- Standards for Specific Uses
- Architectural Design

**Section 1.5 Standards for Specific Uses** of the Downtowncode addresses General Standards which include:

- Setbacks and Building Separation
- Screening
- Landscaping
- Service Areas, Refuse Areas and Backflow Preventers
- Lighting
- Parking
- Restaurants
- Utilities

#### Mixed-Use Projects

- Design Objectives
- Residential
- Applicability and Location
- General Requirements

#### Residential Projects

- Density
- Required Open Space

#### Commercial Projects

- Site Design
- Public Access

#### Outdoor Retail Sales

#### Parking Structures

#### Bicycles

- Bikeways
- Bicycle Parking

#### Architectural Design

- Mixed-Use
- Commercial
- Roof Articulation
- Awnings
- Façade Articulation
- Retail Establishment Size
- Storefront Vacancy

*Refer to Downtowncode for specific details and standards on the items mentioned above.*

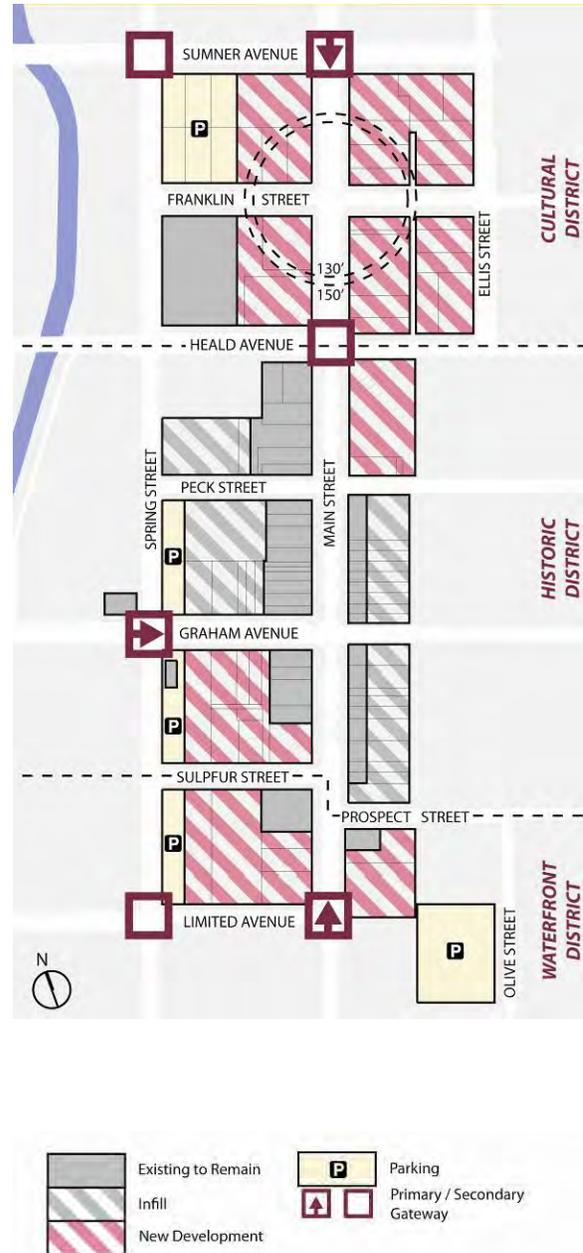
## 2.5 General Design Standards and Guidelines

A significant amount of the twelve blocks that make up the “Key to Downtown” Area is currently vacant or underutilized; approximately 90% of the vacant land is located within the Cultural District and Waterfront Districts of the Downtown Master Plan. This developable land offers a unique opportunity for the creation of a renewed image for Downtown Lake Elsinore with cultural activities, public open spaces, medium density housing, and signature contemporary architecture that responds and harmonizes with the adjacent historic Main Street.

General Design Guidelines are intended to assist decision-making by City Staff regarding specific development and re-development requirements within the “Key to Downtown” boundary. Areas of likely new development, infill development, existing buildings to be preserved, and proposed parking structures are indicated in **Figure 2-1**. Preservation of certain historic structures and facades is a key objective of these guidelines as historic buildings are viewed as integral to the current and future identity of Downtown Lake Elsinore.

The main access points to Downtown Lake Elsinore shall receive special gateway treatment at the locations indicated in **Figure 2-1**. Three main points of access to the “Key to Downtown” area are: from the I-15 Freeway to the north along Main Street, from the western neighborhoods of Lake Elsinore from Graham Avenue, and from south Main Street. (Primary Gateways 1, 2 and 3). Other east-west streets such as Sumner and Limited Avenues are designated as secondary gateways to Main Street and will become more important connections over time as development occurs. **Figure 2-1** also

indicates potential locations of public parking areas.



**Figure 2-1:**  
**“Key to Downtown” Gateways and Development Areas**  
 Source: Gruen Associates

## A. Gateways

Intent:

*To establish a sense of place and celebration of arrival by creating special treatment in the public and private realms of major intersections leading to the 'Key to Downtown' Area.*

- Gateway intersections should receive special treatment such as larger building setbacks for increased sightlines, specially treated crosswalks, accent street trees, special paving components, bike racks, seating areas, fountains, signage and special lighting.



- Surface parking shall not be located adjacent to corners of gateway locations.
- Treatment in Primary Gateways (Figure 2-1) should incorporate easements to allow for a bold landscape treatment.
- Treatment in Secondary Gateways (Figure 2-1) should be mostly restricted to the public realm.

## B. New Development

Intent:

*To create a contemporary look for the Cultural and Waterfront Districts that is complementary with the existing historic feel of Downtown.*

- New development opportunities should contribute to create two signature civic gateways on Main Street through public-private partnerships that incorporate regional/cultural activities to bring new vitality to the Downtown area.
- New development in the Cultural and Waterfront Districts should be developed with a scale, massing and building articulation of a contemporary design, while at the same time being respectful of and compatible with the scale of the historic Downtown.
- New development should promote the creation of new public parking options through public-private partnerships.
- New development should be planned and designed in conjunction with public projects and improvements in the public right-of-way to boost attraction of new businesses to the Downtown area.
- The design of new commercial development should be sensitive to the market demands for specialty retail, entertainment, and resort uses by focusing on businesses that respond to the unique cultural profile of Lake Elsinore such as quality gourmet restaurants and food stores, specialty motorcycle dealers, spas and beauty shops, and sports outlets among others.
- New development projects should incorporate sustainability practices in buildings and in the public ROW, such

as drought tolerant landscaping, and energy/water conservation techniques and best practices.



### C. Building Placement, Form and Articulation

Intent:

*To create compact and walkable neighborhoods in Lake Elsinore's Downtown area.*

- The interface between the Public and Private realms where a building meets the street should be treated to respond primarily to pedestrian needs and scale.



- Buildings along Main Street should be designed to create visual interest at the street level using techniques such as staggering the frontage of the building, recessing doors and windows, providing a variety of display windows, and providing awnings and canopies for weather protection and shade.
- Buildings should be oriented towards the sidewalk and provide unobstructed ADA compliant access for pedestrians from the sidewalk to the building entrance.



- To create visual interest and minimize the length of flat and repetitive walls, buildings should articulate in form using techniques such as step backs of upper floors, changes in plane, varied colors and use of architectural elements such as columns, balconies, recessed entryways and windows, and trellises which create shadow lines.



- Buildings shall comply with “build-to-line” standards for each District to create a frontage that defines the “street wall”.
- Pedestrian bridges should be avoided or limited to one bridge per District to prioritize pedestrian utilization and activation of street level sidewalks.



- When a building is located at a corner, its design and placement should reflect the corner by using techniques such as a tower or other vertical element, diagonal setback at the intersection, locating a corner plaza at the intersection, and/or locating a recessed building entrance at the corner.

## D. Building Types

Intent:

*To assure that new buildings in the ‘Key to Downtown’ area are designed and built to reflect their respective function, and contribute to implement the vision and character envisioned for each of the Districts where they are located.*

Allowable building types in the ‘Key to Downtown’ area are the following:

### D1. Cultural / Civic



- Mostly single public use
- Unique contemporary architecture and materials
- Primary location in the Cultural and Waterfront Districts
- One to two stories high
- Landscaped setbacks, plazas, special lighting, fountains and other site amenities are incorporated into the design.

## D2. Mixed-Use Commercial



- Build-to-line creates “street wall”
- Retail on the ground floor and offices or residences on upper levels
- Shop windows and transparent glass on the ground floor to promote and enhance the pedestrian environment
- Canopies and recessed entries for weather protection

## D3. Mixed-Use Civic



- Mostly public use with some supporting retail on the ground floor
- Offices or residences on upper levels
- Façade articulation on the ground floor may create public plazas and points of public gathering
- Façade articulation and/or architectural accent and details on upper levels

## D4. Retail Pavillion



- Mostly occupied by a single retail business such as a supermarket in a one-story building
- Surface parking
- Loading dock screened from views
- Landscaped setbacks
- Pedestrian connectivity to street

## D5. Storefront Retail



- Primary use is retail
- One or two story buildings
- Historic context and / or character
- Located mostly along Historic Main Street
- Row of buildings of similar scale built adjacent to sidewalks
- Awnings or canopies

## D6. Courtyard Residence



- 2-3 story residential buildings
- Located in the Cultural District around the eastside of Main Street Circle
- Some neighborhood retail or service located on the ground floor along Main Street Circle
- Internal courtyard with landscaping and recreational amenities
- Parking on lower level takes advantage of grade change

## D7. Live-Work Townhouse



- 2-3 story individual residential units
- Individual parking spaces
- Partially underground parking optional
- Work space on the lower level
- Located in the Cultural District on the eastside of the Main Street Circle

## E. Architectural Character

Intent:

*To encourage the design of buildings which are contextually appropriate to the character of the District where they are located.*

### E1. Materials and Exterior treatment



- Building materials, textures and colors should utilize contemporary concepts that harmonize with the natural environment and historic character of Downtown Lake Elsinore.
- Shiny materials, textures and bright colors should be primarily utilized in the Cultural and Waterfront Districts, and should be only utilized as accents in the Historic District.



- Buildings should provide adequate exterior lighting for public safety and enhancement of architectural features at night.

## E2. Transparency and Fenestration

- Buildings shall provide transparency and adequate fenestration to capture the maximum amount of natural light and ventilation.
- Retail buildings should provide generous openings at ground level to allow views of display windows by pedestrians and traffic.
- All glass in windows and doorways at ground level should be clear for maximizing visibility into stores. A minimal amount of neutral tinting of glass to achieve sun control is acceptable if the glass appears essentially transparent when viewed from the outside. Opaque, dark and/or reflective glass should not be used.



- Windows displays should be placed along paseos.

## E3. Building Frontage and Storefront



- Retail uses on the ground level of mixed-use buildings should be designed and oriented to capture the highest amount of foot traffic.



- Buildings should provide frontages that help to define and enliven the Public Realm.
- Storefronts and building entries should provide canopies or awnings for protection from the weather.
- Awnings should be coordinated into the overall building façade composition and should not dominate the storefront.

- Shed awnings with no end panels are encouraged as they provide better visibility into storefronts and appear lighter. “Box” or “bulbous” domed awnings should be discouraged.
- Awnings should be composed of solid fabric such as canvas or glass. Metallic canopies are also acceptable. Vinyl awning materials should be discouraged.



- Entryways to stores should be recessed to ensure that doors do not swing into the public sidewalk.
- Building entries should create a focus that can be accomplished by recessed walls and doorways, roof overhangs, canopies, arches, signs, trellises or other similar architectural features. These elements may project into the public right-of-way as long as they do not interfere with public utilities and landscaping.



#### E4. Walls, Fences and Enclosures

Intent:

*To assure that screening and security fencing is designed to complement design intent and character of each district.*

- Walls and fences are discouraged unless used to screen a parking lot, or to create a street edge for security purposes.
- Walls should support vines to minimize places for graffiti.
- Materials, finishes and colors of walls should complement the materials and design of the main building on the site.
- Fencing should be treated as an architectural element including the incorporation of art elements and landscaping.



- The top of walls should not include artwork or barbed wire or other similar material.
- Establishments located in the “Key to Downtown” area that provide full menu food services are eligible to apply to the City for an outdoor dining area and enclosures in front of these establishments.

- Enclosures may extend to a maximum of 10 feet beyond the property line.
- If a tree is within this 10-foot area, the dining enclosures may be constructed around a tree, as long as the enclosure supports are at least 6 inches from the tree well.
- The height of any enclosure shall not exceed 3 feet.
- The elevation of the dining area shall be the same as the elevation of the sidewalk, and the paving material shall not be changed to another material or color.
- Establishments that serve alcoholic beverages are required to provide an enclosure that meets the requirements of the California Department of Alcoholic Beverage Control, as well as the requirements listed in this document.
- Enclosures must be capable of being removed without destroying the underlying sidewalk or requiring noticeable patching of concrete. Devices such as recessed sleeves and posts which may be temporarily covered for use by the next tenant are acceptable. All bolts shall be hidden from view.
- No enclosures are required if dining is limited to one row of tables adjacent to the building, and no alcohol is served.
- Open metal railings are preferred as outdoor dining enclosures. The design shall be compatible with the building façade and the architectural character of the district. Canvas is not an acceptable material for railings.

## **E5. Mixed-Use Building Types Containing Residential Units**

Intent:

*To minimize potential conflicts between commercial and residential uses in mixed-use building.*

- Entrances to residential units shall be separate and distinct from entrances to commercial uses.
- Mixed-use buildings should be designed so that odors from restaurants, other commercial uses, and their refuse facilities do not affect residential users.
- Residential units shall have adequate noise insulation from non-residential uses in the building.
- Loading facilities in mixed-use buildings should be located to minimize affects on residential users.
- A residential unit shall have at least one of its required parking spaces dedicated on site and separated from public parking. The other required residential parking space could be located in a public parking facility or on site.
- If two residential parking spaces are assigned on site to one residential unit, one space may be in tandem.
- Guest parking at one parking space per ten residential units shall be provided which may be shared with the non-residential uses in the project.
- Guest parking spaces as well as those for non- residential uses shall be located or assigned in a similar way to distinguish them from residential parking assigned to individual units.

## F. Open Space

Intent:

*To provide attractive landscaped common recreational and passive open space as well as private outdoor spaces for residents of the downtown area.*

### F1. Plazas, Courtyards, Paseos, and Pocket Parks

- Public Plazas should incorporate recyclable water features especially at gateway locations, to celebrate water as one of the key attractions in Lake Elsinore.



- Public plazas or parks should allow pedestrian connectivity among adjacent neighborhoods.



- Public plazas should provide continuous expanses of paved areas to be utilized for special events such as arts and crafts fairs or civic gatherings.



- Public Plazas and paseos should be well lit for safety, as well as contain regularly spaced electrical outlets to allow for special events that require extra lighting or sound systems.



- Pedestrian walkways (paseos) leading to courtyards or residential units should be well lit.
- Paseos should provide sufficient width to incorporate landscaping, benches, and artwork.
- Buildings fronting paseos should have windows and doors that lead directly

on to the paseo to improve safety at all hours of the day or night.



## F2. On site Open Space Standards for mixed-use and multi-family residential projects

- Mixed-Use commercial developments should incorporate courtyards into their site plan to expand outdoor dining opportunities.



- Open space shall be provided for each mixed-use project that contains residential uses.
- The minimum required amount of open space for a mixed-use project shall be 200 square feet per unit.
- The open space requirement may be met through a combination of private

and public space. All required open space shall be usable.

- The requirement for open space may not be satisfied through the utilization of parking areas, driveways, service areas or unusable slopes.
- Fifty percent of the open space area required may be provided by paseos and balconies; however such private open space must have a minimum area of 75 square feet and a maximum dimension of 7 feet.
- A minimum of twenty five percent of any common open space shall be planted area with trees, shrubs and gardens.
- Common open space shall require a minimum width of 10 feet and be a minimum area of 200 square feet.

## G. Landscaping for Public Gathering Places

Intent:

*To assure that the landscaping selection is appropriate for the City of Lake Elsinore in terms of scale, maintenance and aesthetics, as well as, in accordance with current sustainability standards, measures and guidelines.*

## G1. Green Design Techniques



- Lot coverage should allow an adequate percentage of permeable space such as permeable paving, bio-swales, water retention zones and ponds, and vegetated areas.
- In built-out neighborhoods, public open space and amenities should be planned and designed to compensate for the loss of permeable space.
- Sustainable landscape materials that weather well should be used to minimize maintenance and promote sustainability.
- Edible landscaping such as fruit trees that require minimal maintenance should be incorporated into public or private landscaped areas whenever appropriate.



- Water conservation measures such as satellite coordinated sprinklers, gray water irrigation, and local drought tolerant vegetation should be prioritized in all public and private landscaped areas.
- Green roofs and the utilization of solar panels should be encouraged in the design of new developments.

## G2. Planting for parking areas

- Parking areas shall provide a surrounding planting coverage area consisting of a combination of shade trees and planting, such as shrubs and ground cover.
- Planting must be evenly distributed within the parking area, and be placed so as not to impede the safe circulation of pedestrian and vehicular traffic.
- One 24" box size tree shall be provided per every 500 square feet of landscaped area. Trees required for planting islands shall not count toward this requirement.
- One shrub shall be provided per every 50 square feet of landscaped area, and shall include forty percent 5 gallon or larger specimens.
- Rooted ground cover shall be included within all landscaped areas, and shall be spaced according to standards requirements of the specific plant utilized.
- Planting islands shall be provided per every 8 parking stalls, and shall incorporate a combination of shade trees, shrubs and ground cover.
- Planting islands shall be a minimum of 5 feet wide and of equal length of the adjacent parking stalls.
- One 24" box size tree shall be provided at each planting island.
- Where parking areas abut the street, there shall be a minimum setback of 10 feet.
- All landscape planter beds in interior parking areas shall not be less than 5 feet in width.

### G3. Street trees palette per District

Table 2-1 shows the recommended list of street trees per district in the “Key to Downtown” area.

#### Edible Landscape Trees

Through a sustainable approach, the “Edible Landscape” initiative proposed in the Downtown Master Plan attempts to reintroduce trees that provide an edible source for residents and native wildlife into the landscape of downtown.

Recommended edible landscape trees per district are:

#### Cultural District

- Loquat Tree
- Avocado Tree
- Pomegranate
- Arbutus unedo- Strawberry Tree

#### Historic District

- Citrus
- Carya illoensis- Pecan
- Prunus dulcis- Almond
- Pistachio vera- Pistachio
- Cherry

#### Cultural District

- Ginkgo biloba- Ginkgo Tree
- Quercus Ilex- Holly Oak
- Quercus agrifolia- Coast Live Oak



Ginkgo Tree



Avocado Tree



Loquat Tree



Cherry Tree



Strawberry Tree



Holly Oak



Pecan Tree

| CULTURAL DISTRICT  | HISTORIC DISTRICT   | WATERFRONT DISTRICT  |
|--|---|--|
|  |  <p data-bbox="699 527 911 558">London Plane</p>   |  |
|  |  <p data-bbox="735 863 875 894">Platanus</p>       |  |
|  <p data-bbox="237 1184 535 1215">Chinese Flame Tree</p> |  <p data-bbox="740 1163 894 1194">Black Oak</p>  |  <p data-bbox="1065 1163 1284 1194">Coast Live Oak</p> |
|  <p data-bbox="269 1451 503 1482">Jacaranda Tree</p>    |  <p data-bbox="951 1472 1073 1503">Chitalpa</p> |  |
|  <p data-bbox="248 1751 521 1782">Mexican Fan Palm</p>  |  <p data-bbox="727 1787 894 1818">Eucalyptus</p> |  <p data-bbox="1117 1787 1328 1818">Camphor Tree</p>  |

**Table 2-1:  
Tree Palette per District**

|  | CULTURAL DISTRICT  | HISTORIC DISTRICT  | WATERFRONT DISTRICT   |
|--|--|--|---|
|  <p>street hierarchy diagram</p> <p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li><span style="color: red;">■</span> Great Streets</li> <li><span style="color: orange;">■</span> Service Streets</li> <li><span style="color: green;">■</span> Green Streets</li> <li><span style="color: purple;">■</span> Civic Streets</li> <li><span style="color: pink;">■</span> Edge Streets</li> <li><span style="color: yellow;">■</span> Neighborhood Streets</li> <li><span style="color: blue;">■</span> Green Corridor/ Terrapal Wash</li> </ul> | <p><b>GREAT STREET TREES</b><br/>Main Street<br/>Jacaranda mimosifolia-<br/>Jacaranda<br/>Washingtonia robusta-<br/>Mexican Fan Palm</p> | <p><b>GREAT STREET TREES</b><br/>Main Street<br/>Platanus x acerfolia<br/>'Bloodgood'- London Plane</p>  | <p><b>GREAT STREET TREES</b><br/>Main Street<br/>Platanus x acerfolia<br/>'Bloodgood'- London Plane<br/>Phoenix canariensis -<br/>Canary Island Date Palm</p> |
|  | <p><b>GREEN STREET TREES</b><br/>Sumner Avenue / Heald Avenue<br/>Koelreuteria bipinnata –<br/>Chinese Flame Tree</p>                    | <p><b>GREEN STREET TREES</b><br/>Graham Avenue<br/>Eucalyptus sideroxylon –<br/>Red Ironbark</p>   | <p><b>GREEN STREET TREES</b><br/>Limited Avenue<br/>Cinnamomum camphora –<br/>Camphor Tree</p>  |
|  | <p><b>CIVIC STREET TREES</b><br/>Franklin Avenue<br/>Jacaranda mimosifolia-<br/>Jacaranda</p>  | <p><b>SERVICE STREET TREES</b><br/>Spring Street<br/>Quercus agrifolia- Coast<br/>Live Oak<br/>Quercus kelloggii- California<br/>Black Oak</p> | <p><b>SERVICE STREET TREES</b><br/>Spring Street<br/>Quercus agrifolia- Coast<br/>Live Oak<br/>Quercus kelloggii- California<br/>Black Oak</p>                |
|  | <p><b>EDGE STREET TREES</b><br/>Ellis Street<br/>Platanus x acerfolia<br/>'Bloodgood'- London Plane</p>                                  | <p><b>NEIGHBORHOOD STREET TREES</b><br/>Peck Street<br/>X Chitalpa tashkentensis-<br/>Chitalpa</p>   | <p><b>NEIGHBORHOOD STREET TREES</b><br/>Prospect and Sulphur Streets<br/>X Chitalpa tashkentensis-<br/>Chitalpa</p>   |

## G4. Shrubs Palette per District

Shrubs per district for the public realm should be selected from the following list:

### Cultural District

Anigozanthos 'Bush Gold' -Yellow Kangaroo Paw  
Caesalpinia gillesii- Yellow Bird of Paradise  
Chondropetalum tectorum- Cape Rush  
Dianella revoluta Little Rev- Little Rev Flax Lily  
Dietes grandiflora- Fortnight Lily  
Dodonaea viscosa 'Purpurea' - Purple-leafed Hop-bush  
Festuca californica- California Fescue  
Helichrysum Limelight- Licorice Plant  
Hemerocallis 'Yellow'- Yellow Daylily  
Hemerocallis 'Bitsy'- Bitsy Daylily  
Kniphofia uvaria 'Malibu Yellow' - Malibu Yellow Poker Plant  
Lantana 'Gold Rush' - Gold Rush Lantana  
Lantana montevidensis- Purple Trailing Lantana  
Lavandula sp.- Lavander  
Leucophyllum frutescens- Texas Ranger  
Lomandra longifolia- Mat Rush  
Myrtus communis 'compacta' - Dwarf Myrtle  
Nassella tenuissima- Mexican Feather Grass  
Phormium 'Yellow Wave'- Yellow Wave New Zealand Flax  
Phormium 'Bronze Baby'.- Bronze Baby New Zealand Flax  
Phormium tenax 'Atropurpureum' - Bronze New Zealand Flax  
Salvia sp.- Sage  
Teucrium fruticans azureum- Bush Germander  
Verbena bonariensis- No Common Name  
Westringia fruticosa - Coast Rosemary  
Aeonium sp- Aeonium (all)  
Agave Americana- Century Plant  
Agave 'Blue Flame'- Blue Flame Agave  
Agave desmetiana- Smooth Agave  
Agave vilmoriana- Octopus Agave  
Aloe maculata 'Yellow Form' - Yellow Soap Aloe

Aloe vera- Medicinal Aloe  
Bulbine frutescens 'Hallmark'- Yellow Bulbine  
Echeveria sp.- Echeveria  
Hesperaloe parviflora 'Yellow'- Yellow Yucca  
Sedum sp.- Stonecrop  
Myoporum parvifolium 'Putah Creek' - Creeping Myoporum  
Rosmarinus 'Huntington Carpet'- Rosemary

### Historic District

Anigozanthos 'Bush Red' – Red Kangaroo Paw  
Arctostaphylos sp.- Manzanita  
Artemisia 'Powis Castle'- Wormwood  
Bougainvillea 'Rosenka'- Bougainvillea  
Callistemon Little John- Dwarf Bottle Brush  
Chondropetalum tectorum- Cape Rush  
Correa pulchella- Australian Fuchsia  
Dietes grandiflora- Fortnight Lily  
Erigeron karvinskianus- Santa Barbara Daisy  
Galvezia speciosa- Island Snapdragon  
Hakea laurina- Pin Cushion Bush  
Helianthemum 'Mesa Wine'- Mesa Wine Sunrose  
Helichrysum petiolare- Licorice Plant  
Hemerocallis 'Frankly Scarlet'- Red Daylily  
Lantana 'White Lightnin' - White Lightnin Trailing Lantana  
Ligustrum 'Texanum'- Wax-Leaf Privet  
Loropetalum chinense – Fringe Flower  
Myrtus communis 'compacta' - Dwarf Myrtle  
Oenothera speciosa - Mexican Evening Primrose  
Phormium 'Dazzler'- Dazzler New Zealand Flax  
Phormium 'Duet' - Duet New Zealand Flax  
Pittosporum tobira 'Variegata' – Variegated Mock Orange  
Pittosporum tobira 'Wheeler's Dwarf' - Dwarf Mock Orange  
Raphiolepis indica - Indian Hawthorn  
Westringia fruticosa - Coast Rosemary  
Zauschneria californica- California Fuchsia  
Aeonium sp- Aeonium (all)  
Agave vilmoriana- Octopus Agave

Aloe arborescens- No Common Name  
 Aloe ciliaris- No Common Name  
 Aloe ferox- Cape Aloe  
 Aloe saponaria- Soap Aloe  
 Aloe striata- Coral Aloe  
 Crassula capitella 'Campfire' - Campfire Crassula  
 Echeveria sp.- Echeveria  
 Hesperaloe parviflora- Red Yucca  
 Ocularia deltoides - Pink Iceplant  
 Sedum sp- Stonecrop

### Waterfront District

Anigozanthos 'Bush Gold' -Yellow Kangaroo Paw  
 Ceanothus sp. - Wild Lilac  
 Chondropetalum tectorum- Cape Rush  
 Cotoneaster lacteus- Parney's Cotoneaster  
 Dianella tasmanica- Flax Lily  
 Dianella revoluta Little Rev- Little Rev Flax Lily  
 Dietes grandiflora- Fortnight Lily  
 Festuca californica- California Fescue  
 Fremontodendron californicum- Flannel Bush  
 Kniphofia uvaria 'Malibu Yellow' - Malibu Yellow Poker Plant  
 Ligustrum 'Texanum'- Wax-Leaf Privet  
 Lomandra longifolia- Mat Rush  
 Myrtus communis 'compacta' - Dwarf Myrtle  
 Nassella tenuissima- Mexican Feather Grass  
 Phormium 'Yellow Wave'- Yellow Wave New Zealand Flax  
 Phormium 'Bronze Baby'- Bronze Baby New Zealand Flax  
 Phormium tenax 'Atropurpureum' - Bronze New Zealand Flax  
 Pittosporum tobira 'Variegata' – Variegated Mock Orange  
 Pittosporum tobira 'Wheeler's Dwarf' - Dwarf Mock Orange  
 Rhus integrifolia- Lemonade Berry  
 Salvia sp.- Sage  
 Teucrium fruticans azureum- Bush Germander  
 Verbena bonariensis- No Common Name  
 Westringia fruticosa - Coast Rosemary

Aeonium sp- Aeonium (all)  
 Agave 'Blue Flame'- Blue Flame Agave  
 Agave deserti- Desert Agave  
 Agave desmetiana- Smooth Agave  
 Agave shawii- Shaw Agave  
 Agave vilmoriana- Octopus Agave  
 Aloe maculata 'Yellow Form' - Yellow Soap Aloe  
 Aloe vera- Medicinal Aloe  
 Bulbine frutescens 'Hallmark'- Yellow Bulbine  
 Dasylirion wheeleri - Spoon Yucca  
 Echeveria sp.- Echeveria  
 Hesperaloe parviflora 'Yellow'- Yellow Yucca  
 Sedum sp- Stonecrop  
 Acacia redolens 'Low Boy'- No Common Name  
 Arctostaphylos 'Emerald Carpet'- Manzanita  
 Arctostaphylos 'Pacific Mist'- Manzanita  
 Cotoneaster dammeri 'Coral Beauty' - Bearberry  
 Cotoneaster, Crassula multicava- Fairy Crassula



Dianella revoluta Little Rev- Little Rev Flax Lily



Anigozanthos 'Bush Gold' -Yellow Kangaroo Paw

## Private Realm

A drought tolerant plant palette shall be adopted for the private realm. The suggested plant list for the public realm can be used and expanded upon to meet the property owner's needs. A reference list of additional plants that will be suitable for a sustainable drought tolerant landscape can be found at:

<http://www.emwd.org/conservation/pdf/wucolsb.pdf>

The Water Use Classification of Landscape Species (WUCOLS) list can be used as a guide to identify irrigation water needs of landscape species and to assist the property owner in selecting plants for water efficient landscapes. Plants with similar needs can be grouped together in effective hydrozones. As part of the drought tolerant planting guidelines of the city, it is a requirement to have at least 80% of the landscaped area to be considered a LOW (L) or VERY LOW (VL) water use hydrozone as defined by WUCOLS.

## H. Public Parking

Intent:

*To promote a safe and pleasant pedestrian environment throughout the "Key to Downtown" Area by creating parking structures that supply adequate number of parking spaces for existing and new developments and are located at walkable distance of major commercial, cultural activities.*

- New surface Parking Lots should be located internally in the city block, surrounded by buildings.
- Existing parking lots that are located adjacent to the street should be properly screened from views from the

sidewalk and street by a hedge or low masonry wall and vines.



- A minimum 3 foot high visual screen shall be provided when parking areas are adjacent to neighboring uses. Screening may consist of trees, shrubs, vines, ground cover, berms, walls, or a combination thereof.
- Where parking areas are located adjacent to residential uses, a 6 foot high screen wall or fence is required. Walls and fences shall follow the standards and guidelines in Chapter 2 Section E4.
- Vehicular access to parking lots or structures should be located to minimize impacts to the traffic flow in the public right of way, minimize the number of curb cuts and secure pedestrian and vehicular safety.
- Shared parking should be encouraged and total number of parking spaces required could be reduced if a shared parking analysis reveals a lower accurately derived parking demand.
- In the design of an above grade parking structure, avoid sloping floors visible from adjacent streets and buildings.
- Parking structures shall be located preferably along service streets with convenient regional accessibility,

without adding or interfering with internal vehicular circulation in the “Key to Downtown” area.

- Façade treatment of parking decks shall incorporate landscaping and other architectural elements to minimize visual impact.



- Whenever feasible, ground floor retail should be incorporated into the parking structure.



### I. Access

Intent:

*To minimize curb cuts and make the streetscape more walkable and attractive.*

- Consolidation of access points should be encouraged to reduce the number of driveway curb cuts from the street.

- Shared driveways between lots should be permitted and encouraged and should be limited to a maximum 24 feet wide.
- Vehicular access should be provided from side streets or alleys whenever possible.
- To give priority to pedestrian, turning radii at intersections should be 20 feet or less.

### J. Service and Trash Areas, Utilities and Mechanical Equipment

Intent:

*To assure that safety and aesthetics are incorporated into the operational requirements and concerns of infrastructure installations and service areas.*

- Service functions should be located at the rear of buildings. If not possible, they should be screened from view of public streets, paseos or courtyards.
- Trash enclosures should be the minimum size required to hold all trash anticipated from the proposed use and should be animal proof.
- Whenever possible, access should be located along service alleys or secondary streets, and loading docks should be screened from street view.
- Group mailbox structures are permitted as part of a mixed-use building or in groups of ten or less, and located in landscaped setback areas. Their design should be compatible with the character of the District where the building is located.
- In parking garages, trash enclosures should be located near the automobile entry and away from pedestrian circulation and stairs, preferably

adjacent to a service alley or loading dock.

- In multi-family residential buildings a separate driveway should be provided for trash collection at the rear of the development, except in the case where a public alley is directly accessible.
- HVAC equipment, utility meters, satellite dishes, above grade tanks, and other mechanical equipment should be located as to not be visible from the streets or shielded with architectural elements that are compatible with the building design.
- Mechanical equipment should not vent to street sides of buildings.

## K. Signage

**Chapter 17.196** of the Lake Elsinore Municipal Code addresses Signs and Advertisement Structures requirements and procedures in the City of Lake Elsinore.

**Section 1.3.8** of the Downtowncode establishes Design Guidelines and Standards for allowable signage types in the Downtown area and covers the following:

- General Standards
- Awnings
- Banners
- Monuments
- Projecting signs
- Towers
- Under Canopies
- Walls
- Windows

The following General Standards and Design Guidelines apply to the “Key to Downtown” Area:

## K1. Contents

- Signs must identify only the name and type of business or service provided, and shall not advertise specific products or trade names.
- Signage which displays names and graphics of nationally recognized businesses will be specifically allowed.
- Universally recognized symbols which provide immediate recognition and identification or a particular business and/or service will be allowed.
- Pedestrian-oriented signage may contain more detailed information such as store hours, products and services.

## K2. Quantity

- Each licensed business may have all or some of the following: one primary wall sign, one or more pedestrian oriented secondary wall signs, one or more window signs, one freestanding sign, one or more portable signs, and signage painted or applied to awnings.



- A business which is located on a corner or which backs onto an alley or paseo may display one additional sign of the same style and design mounted on the side or rear elevation.
- One secondary small sign may be mounted parallel to the wall in addition to the primary wall sign, for visual communication to pedestrians and slow moving traffic.
- A secondary pedestrian sign shall be hung at a 90 degree angle perpendicular to the façade, having no more than two identical faces.
- Wall-mounted multi-tenant signs shall be limited to one per building and a maximum of five tenants.

### K3. Size and Location

- Total sign area of all types of signage shall not exceed one and a half (1 ½) square feet per lineal foot of building frontage, or seventy-five (75) square feet in total sign area, whichever is less.

### Wall Signs



- A primary wall sign is mounted parallel to any exterior façade of a building.
- A wall sign should not cover all or part of any significant architectural details.

- Primary wall signs may not be less than fifteen (15) inches in height and no more than 25% of the height of story.

### Projecting Signs

- Secondary Hanging or projecting pedestrian-oriented signs must not exceed eight (8) square feet in area.
- Pedestrian-oriented signs must have a minimum clearance of eight (8) feet above grade at their lowest point and not exceed twelve (12) feet above grade.
- A minimum horizontal separation of 25 feet must be provided between projecting and canopy hung pedestrian signs on adjacent businesses to promote maximum visibility.
- On single-story buildings, the top of the sign shall not be above the cornice or roof line.
- Projecting signs must be erected at least six inches (6) away from the wall but shall not project beyond a vertical plane set three (3) feet from the face of the façade.

### Awning Signs

- Signs on awnings are restricted to one per valance front and are prohibited from sides or awning ends.



- Signs on awnings should be located on the fabric valance of awning, or if there is no valance or the front of the awning.
- The maximum height of an awning valance flap shall be eight (8) inches.

### Banners



- Temporary Banner Signs are to be vertically oriented and the maximum sign area shall be no greater than 32 square feet.
- Banner signs shall be perpendicular to the face of the façade at both the bottom and the top.

### Window Signs

- Window signs shall be comprised primarily of individual letters applied or painted in a professional manner upon the interior surface of a ground level window, such that it can be read from the outside.
- All window signs above the ground level shall be prohibited.
- Permanent or temporary window signs shall not cover more than 20 percent of the area of each window.

### K4. Sign Lighting / Illumination

- Internally illuminated signs may be permitted and limited to channel letters and logos.



- Neon signs may be permitted if not directly facing residential buildings and should be limited to night operating businesses such as bars and restaurants, or to highlight design features in an art deco style building.



- Source of lighting should be shielded or hidden from view, or, whenever visible, the light fixture should be a component of the storefront design concept.



- Energy efficient power sources and devices such as solar power and LED lights should be incorporated as part of the concept of illuminated signs whenever feasible.

throughout the “Key to Downtown” area. These include names of streets, parks, indication of public parking, and indication of public buildings and facilities.

### K5. Way Finding Signage



- Large scale lettering with the words “Lake Elsinore” may be included as part of Gateway design, at the Circle in the Cultural District and on the pedestrian bridge of the Civic Center building in the Waterfront District. The signage should be in conformance with the City’s adopted branding requirements.



- Transit Stops should be clearly marked with the same identity of the overall way-finding system. Shaded benches and / or shelters at the most active ones should be incorporated at each bus stop.



- Banners attached to light poles may be utilized to announce special events throughout the “Key to Downtown” area. Banners on light poles shall not be used for advertisement except to indicate sponsorship for a public event.
- Way-Finding Signage should have a unified image in the three Districts



- Information kiosks informing the location of retail and service stores, and public buildings and facilities should be placed near the pedestrian

exit of parking structures or lots. One of the faces of the kiosk may contain advertisement.

## L. Transit

Intent:

*To provide local and regional multi-modal accessibility to the “Key to Downtown” area that is easy and comfortable for passengers and incorporates transit and its components into the new branding of downtown through a unifying design of shelters and signage.*

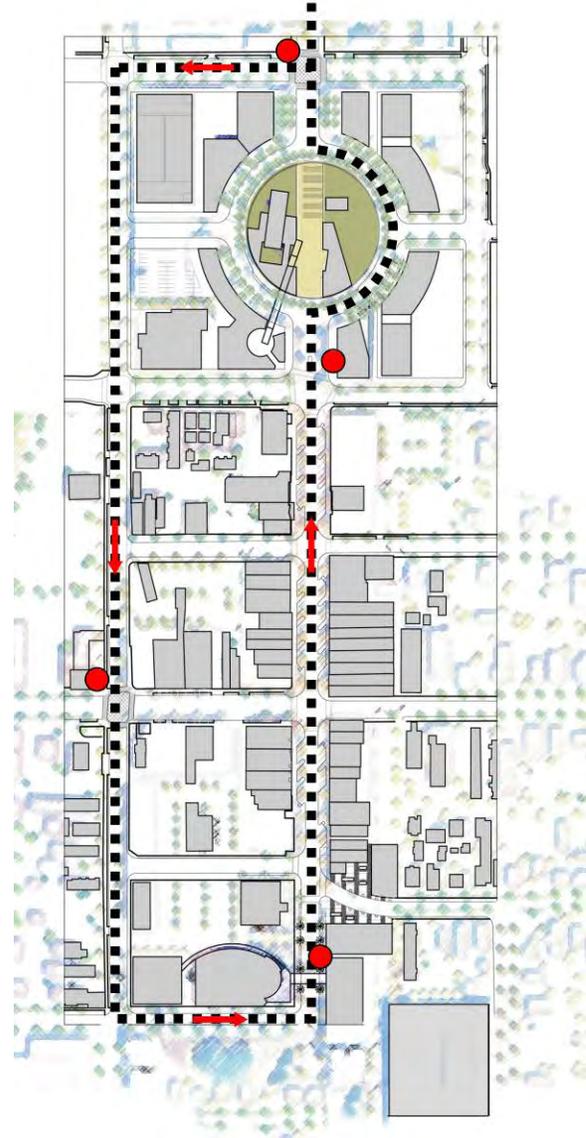
- A unified design for transit shelters in the “Key to Downtown” area shall provide adequate passenger amenities including covered benches, pedestrian lighting, trash receptacles and bus schedule.
- The utilization of solar panels for lighting should be encouraged as an integral part of shelter design.
- Bus bays along the street should be discouraged as they add to the pavement width and make it more difficult for buses to re-enter the travel lanes.



- A one-way shuttle Circulator (as indicated by the dash line in **Figure 2-2**) should be considered to provide continuous transit access to the “Key

to Downtown” area from adjacent districts and neighborhoods.

- Circulator stops should be located as indicated in **Figure 2-2**.



----- Proposed Downtown Circulator Route

● Proposed Downtown Circulator stops

**Figure 2-2:**  
**Proposed Downtown Circulator**

## M. Public Art

- The installation of large public art should be encouraged in Primary Gateways.
- Smaller permanent art installations such as murals, sculptures and fountains should be encouraged in Secondary Gateways, in private properties and in public and cultural buildings.



- Temporary installations/exhibits and performance art should be encouraged in public open spaces. The City could allow emerging artists to display their art within the public plazas for a certain period of time.

- Art work could be contemporary sculptures or artist designed street furniture, lighting, and paving as well as art created by local school children to be inserted into public plazas.



Source: Lake Elsinore's artist Bruce McMeans  
Kid's Walk Mosaic Demo Project

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### 3.1 Public Realm

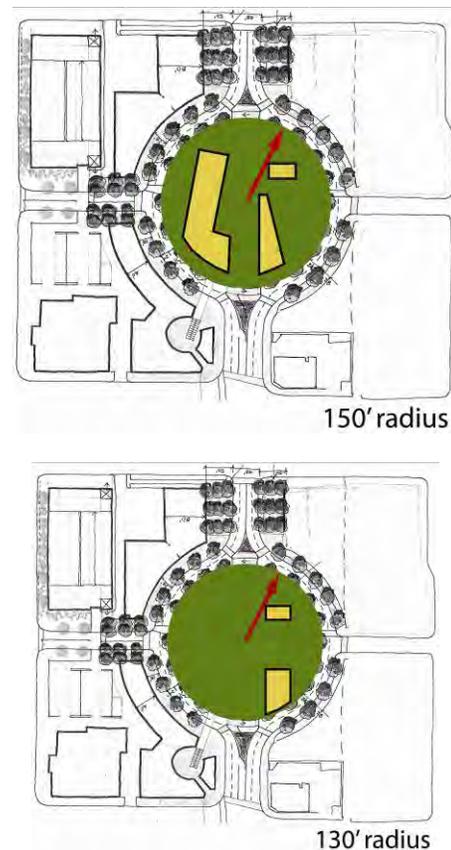
#### A. The Circle

The Downtown Master Plan structures the Cultural District around a two-lane one-way Main Street circle. **Figure 3-1** shows options for the dimensions and land use of the inner circle. In Alternative A, the proposed 150' radius of the inner circle in the Master Plan has been dimensioned to accommodate civic buildings such as a public library, a museum, and the historic Armory in the center of the circle. In the Master Plan a Performing Arts Center was proposed for most of the northwest quadrant of the Cultural District, but it has since been removed from the cultural district program.

While keeping the original intent of the Master Plan, the "Key to Downtown" Implementation Plan introduces an alternative concept for the circle that takes into account the revised program for civic uses in the Cultural District in which the Performing Arts Center has been removed and possibly replaced by a post office headquarters. In Alternative B, the public library replaces the performing arts center as a gateway to the Cultural District at the corner of Main Street and Sumner Avenue, and consequently the radius of the inner circle may be reduced to 130', allowing greater area for private development in the four quadrants of the Cultural District. The Armory building still will be retained within the Circle.

The selected alternative will depend on a variety of factors and additional analysis such as more detailed engineering, parcel

ownership, grading, coordination with Riverside County as to the location of the library, etc. Furthermore, there is a grade change of approximately one story between the east and west sides of the circle. This may also affect the option that is selected.



**Figure 3-1:**  
**Alternatives for Main Street Circle**

## B. Civic Building Placement and Massing

Figures 3-2 and 3-3 show the proposed placement of civic buildings inside the circle for each of the Alternatives.

### Alternative A – Library in the Circle

Alternative A accommodates three civic buildings within the 150' radius circle: a public library, a museum and the historic Armory Building. The public library is located near the mixed-use-commercial portion of the Cultural District in the southwest quadrant of the circle and the museum is located facing the library in the circle's southeast quadrant. A 50' wide north-south pedestrian path should be aligned with Main Street between these two buildings to allow continuing and unobstructed views of the historic Main

Street for those approaching the Cultural District from the I-15 Freeway. In the south quadrant civic buildings must be placed at 28' build-to line, to create a street wall.

Drop-offs for school buses, handicapped parking and library service parking should be accommodated along the circle adjacent to the curb. A pedestrian bridge should connect the commercial side of Main Street to the circle. Accessible pedestrian crossings of the Main Street circle should be frequent.

The historic Armory building shall be kept visible from the intersection. The north side of the circle shall be treated with landscaping, that may include a fountain, plus gateway signage and special lighting.



Figure 3-2:  
Alternative A – Library in the Circle

### Alternative B – Library on West Side of Circle

Alternative B reduces the radius of the circle to 130' while allowing a minimum of 20' between the outer side of the curb and the exterior wall of the historic Armory Building. A contemporary building can be built next to the Armory building as a museum and or/ tourist information and related activities. The two buildings should be aligned to keep views of Main Street open and unobstructed. A drop-off with handicapped parking separates the two buildings.

The Main Street Circle is mostly occupied by open air civic activities with sustainable features and theme such as ponds for

drainage collection of rain water, recyclable water fountain, permeable paving, a grove of edible fruit trees. A small amphitheater linked to the new building addition next to a playground becomes a venue for small outdoor concerts and plays.

The library, located at the northwest quadrant outside the circle, is more accessible to parking and therefore does not require children to cross the circle to access it. The library also becomes an exciting entry statement for those arriving from the freeway.

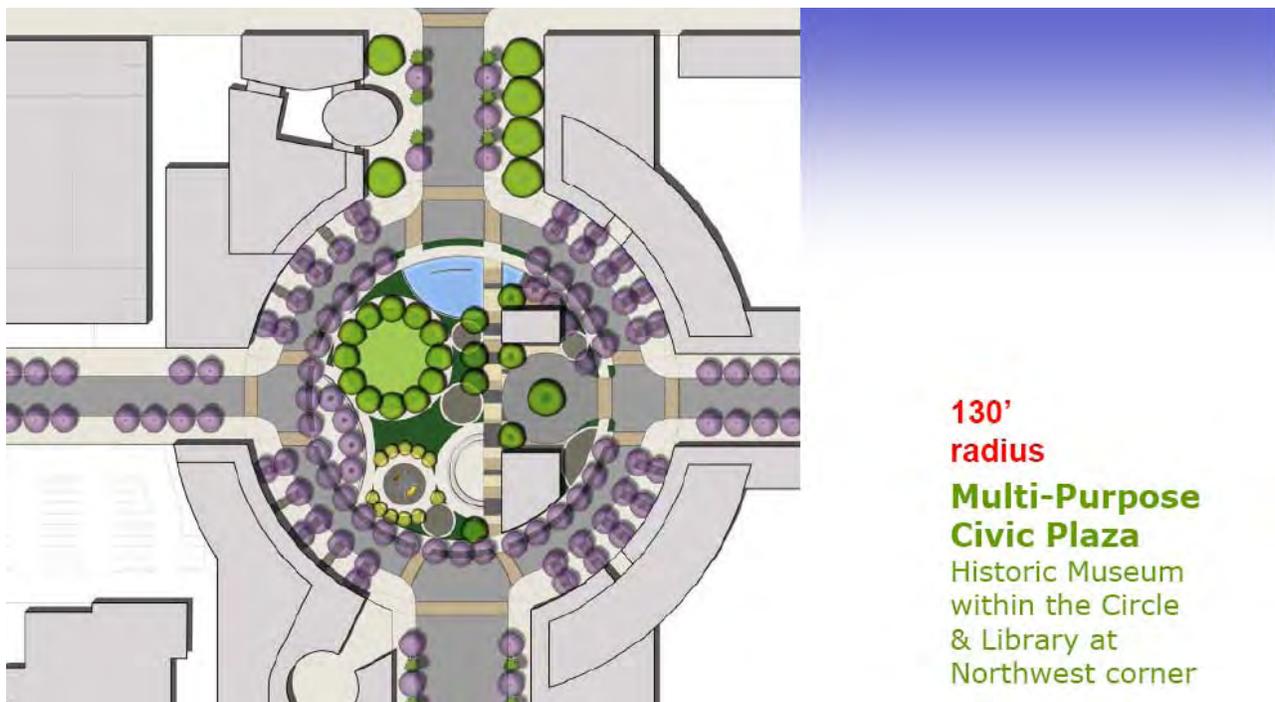
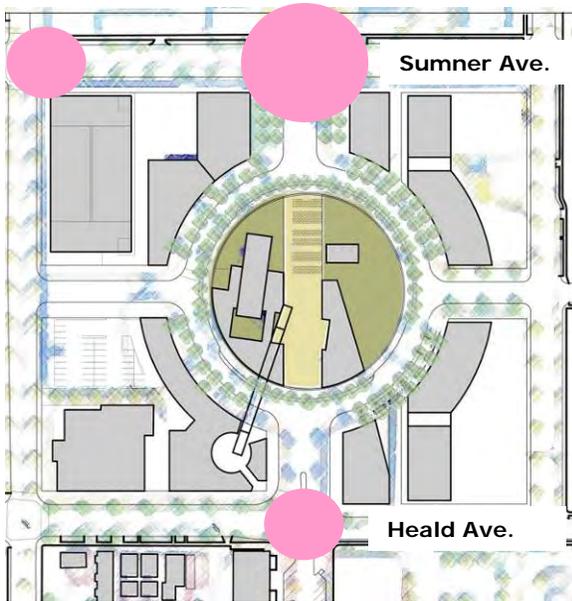


Figure 3-3:  
Alternative B – Library on West Side of Circle

### C. Gateways

Three intersections should receive gateway treatments in the Cultural District: a primary gateway at Main Street and Sumner Avenue, and two secondary gateways at Main Street and Heald Avenue and Spring Street and Sumner Avenue. (Figure 3-4)



**Figure 3-4:**  
Location of gateways in the Cultural District

#### C1. Primary Gateway Main Street / Sumner Avenue

The primary gateway treatment at Main Street and Sumner Avenue should incorporate easements to allow for a bold landscape treatment. Gateway treatment should include:

- 50' setback from the curb on both sides of Main Street to allow wider sightline into the Circle as well as room for a double-row of trees to shade the plaza.

- Special crosswalks paving, sitting areas, special lighting, art work and way-finding signs.
- Special sign to announce Downtown Lake Elsinore and the Cultural District
- Large scale public art

**Figures 3-5 and 3-6** show Options A and B, two different ways to accomplish the objectives of primary gateway treatment.



**Figure 3-5**  
**Option A- Precast Paver Plaza**

**Decorative Crosswalk**

- precast concrete paver
- integral color concrete center with a diagonal pattern

**Architectural Pavers on Sidewalks**

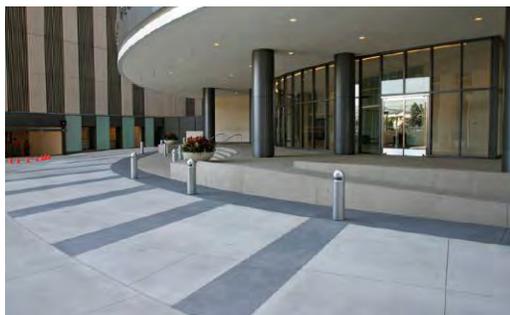
- 24" X 36" X 2"
- tudor texture
- cream color concrete field pavers
- gray concrete banding

**Main Street Trees**

- Jacaranda
- Mexican Fan Palm
- \*on downtown master plan plant palette

**Tree Well Plantings**

- drought tolerant shrubs
- flowering accent planting
- Gateway signage announcing Downtown Lake Elsinore and the Cultural District.



## OPTION B

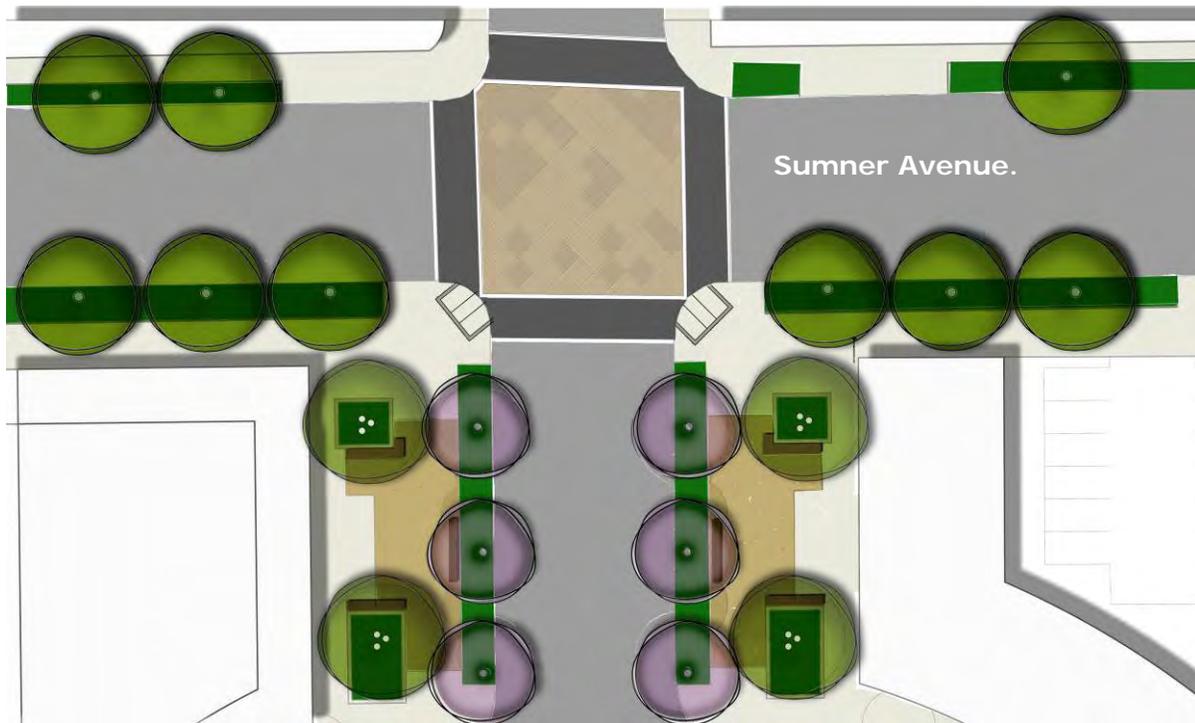


Figure 3-6  
Option B- Decomposed Granite Plaza

### Decorative Crosswalk

- Precast concrete paver
- Integral color concrete center with a diagonal pattern

### Trees and Planters

- Jacaranda in a 6' wide landscaped planter along Main Street. Street drains to planter.
- Multi-trunk California Sycamore in custom tree well.
- IPE benches and drought-tolerant understory planting.

### Decomposed Granite Plaza

- Decomposed granite between the trees with concrete pavers along the buildings to reduce cost and increase permeability and sustainability.
- Gateway signage announcing Downtown Lake Elsinore and the Cultural District.



## C2. Secondary Gateways

Gateway treatment in secondary gateways should be generally restricted to the public realm but should also incorporate corner treatment of buildings in private properties.

Gateway treatment should include room for sitting areas both in the public right of way as well as in the private property, special paving at sidewalks and crosswalks, pedestrian lighting, art, information kiosk, and way-finding signage.

### Main Street / Heald Avenue

This intersection is the transition between the Cultural and Historic Districts. Guidelines for this include:

- On Main Street north of Heald Avenue use same sidewalk paving and pattern and same crosswalk paving and pattern as the primary gateway Option 1.
- North of Heald Avenue, Jacaranda trees in 6' wide landscape planters along Main Street curb.
- Public art and directional signs announcing the Historic District south of Heald Street.

### Main Street / Franklin Street

Franklin Street is the main point of pedestrian access to the Main Street Circle from the parking structure. Guidelines include:

- At the north side of Franklin Street a 5' area adjacent to the parking structure be landscaped to screen the parking structure from view unless ground level shops front Franklin Street.

- 6' landscaped planter with Jacaranda trees along Franklin Street. Trees should be 20' from the parking structure access driveway.
- A 10' wide sidewalk paved with 24" x 36" x 2" tudor texture cream colored pavers with gray concrete banding.
- An entrance sign for the Cultural District and a directional sign for parking and library at the northeast corner. This sign could be integrated with the design of the parking structure.

## D. Main Street Circle

### D1. Main Street Circle / Westside

The Downtown Master Plan calls for the westside of the Main Street Circle to be lined with retail shops, restaurants and civic uses at ground level, facing a wide sidewalk with ample pedestrian amenities. To achieve this, the following guidelines illustrated in **Figure 3-7** should be followed:

- 28' wide sidewalk width
- A 6' wide parkway into which the street and paved sidewalk drains creating a "green street". This parkway breaks for pedestrian amenities such as benches.
- A 10' clear area so two or more people may walk together along the sidewalk.
- 12' paved area adjacent to the build-to-line of the buildings to allow for outdoor dining and/or other pedestrian amenities depending on adjacent land use. Planters are also allowed within this zone.
- Attractive enclosures either formed of planters with landscaping or metal

railing are allowed. Refer to Chapter 2 Section E4 for further standards and guidelines.

- Landscaped planters adjacent to the curb with Jacarandas and pedestrian lighting.
- Double row of trees adjacent to buildings approximately every 90 feet.
- Large format pre-cast concrete pavers (24"X36"X2") of light sand blast finish. Cream color in field with charcoal color accent.



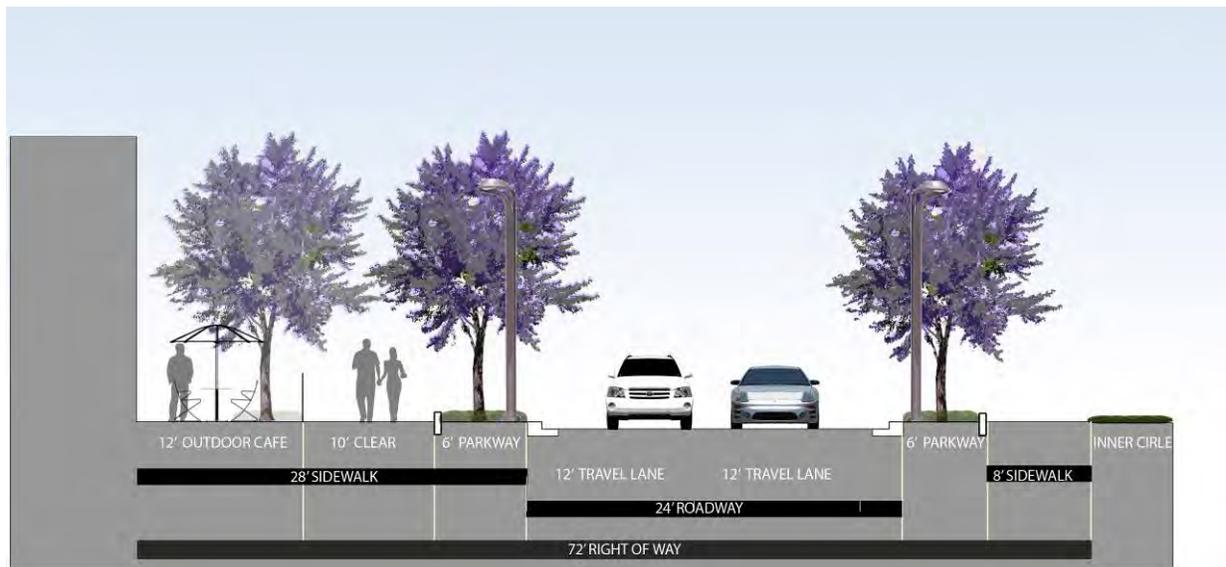
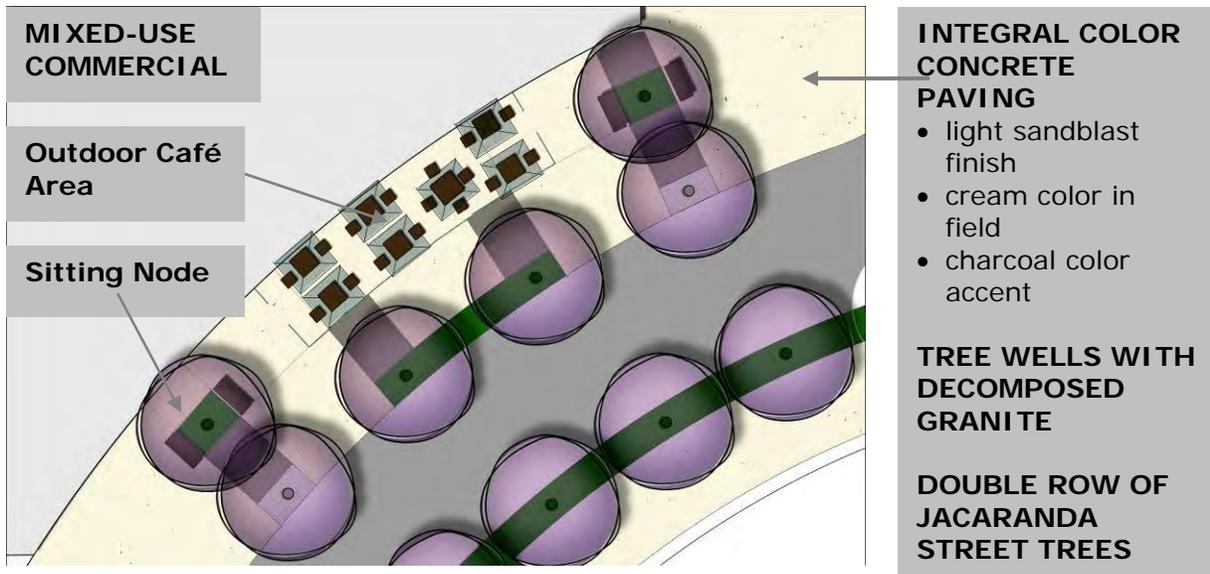
## D2. Main Street Circle / Eastside

The Downtown Master Plan calls for Mixed-use residential in the eastside of the Main Street Circle. Some neighborhood retail uses are proposed to occur at ground level, with residential uses above. Because of its mostly residential character, landscaping in the eastside of the Main Street Circle should promote a park-like atmosphere. To achieve this, the following guidelines illustrated in **Figure 3-8 and 3-9** should be followed:

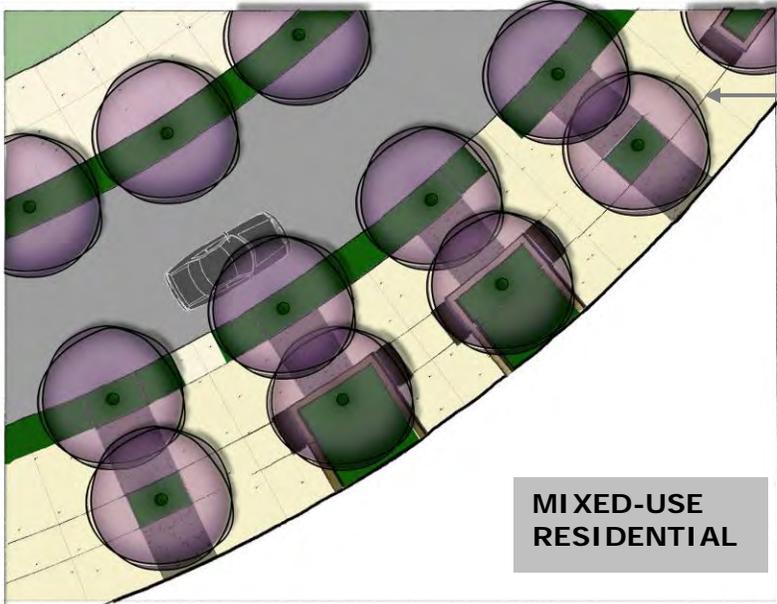
- 28' wide sidewalk width
- A 6' wide continuous parkway in which the street and paved sidewalk drains creating a "green street".
- A continuous double row of Jacaranda throughout the eastside of the Main Street Circle.
- 3' high built planters in front of residential units.
- Movable planters may be utilized in front of retail uses.



Landscape and grade changes should provide visibility privacy for residential units from pedestrian paseos and sidewalks.



**Figure 3-7:**  
Westside Main Street Circle sidewalk and street cross-section



**INTEGRAL COLOR CONCRETE PAVING**

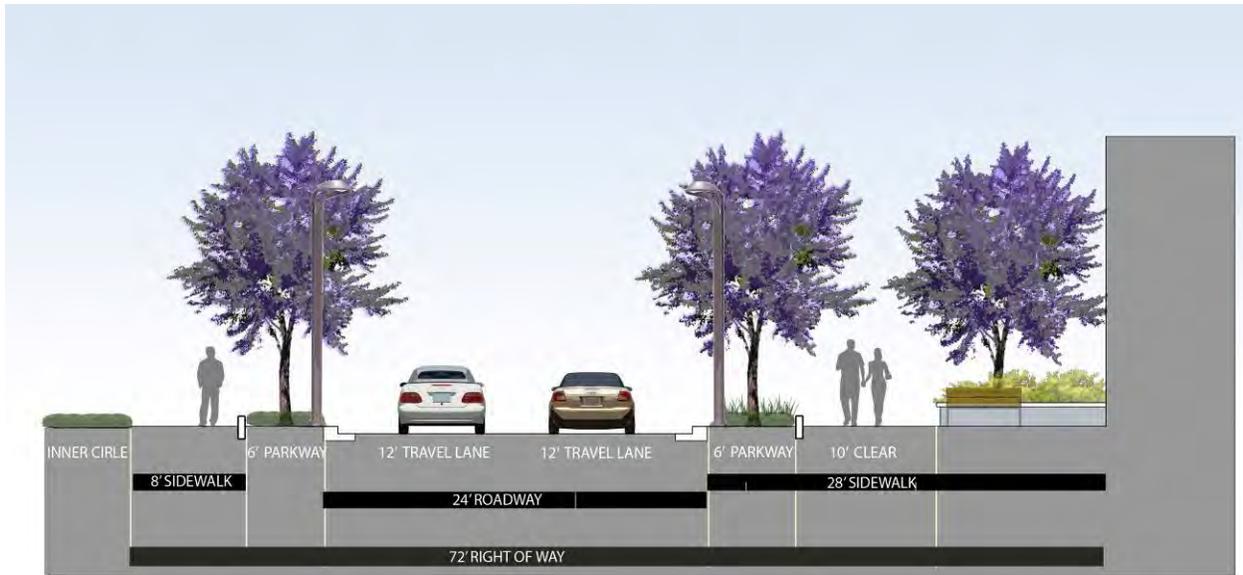
- light sandblast finish
- cream color in field
- charcoal color accent

**PLANTED BIOSWALES PARKWAYS**

- buffer street and pedestrian zone
- clean and filtrate run-off

**DOUBLE ROW OF JACARANDA STREET TREES**

**MIXED-USE RESIDENTIAL**



**Figure 3-8:**  
Eastside Main Street Circle sidewalk and street cross-section



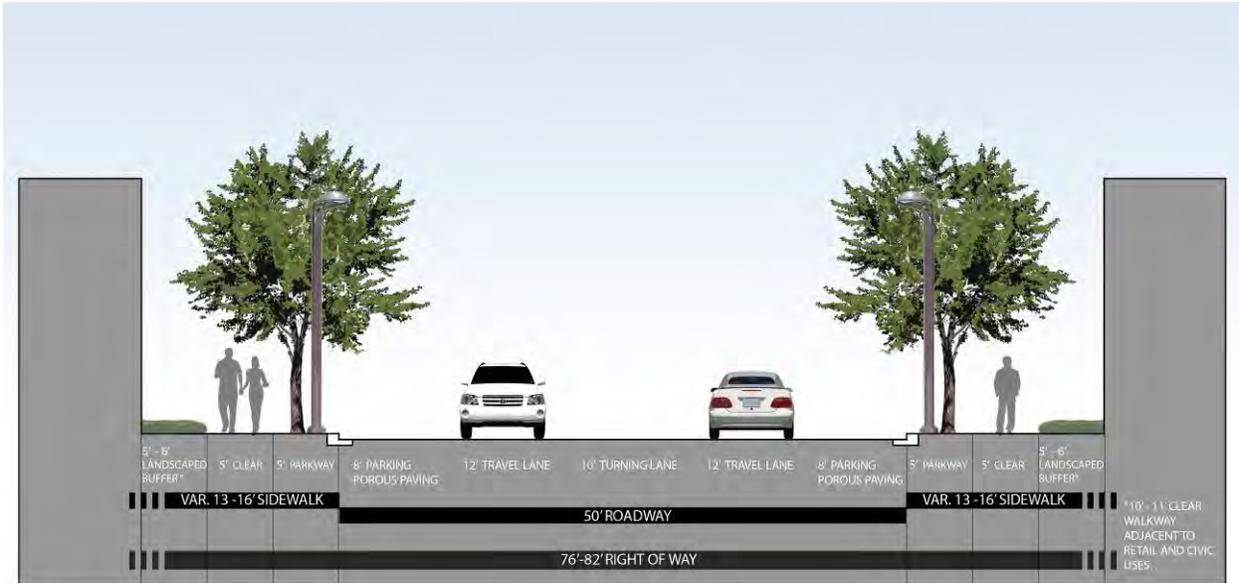
**Figure 3-9:**  
**Planted bio-swale parkways buffer street and pedestrian zone, in addition to cleaning and filtering run-off**

### **D3. Other Pedestrian Accessibility Issues**

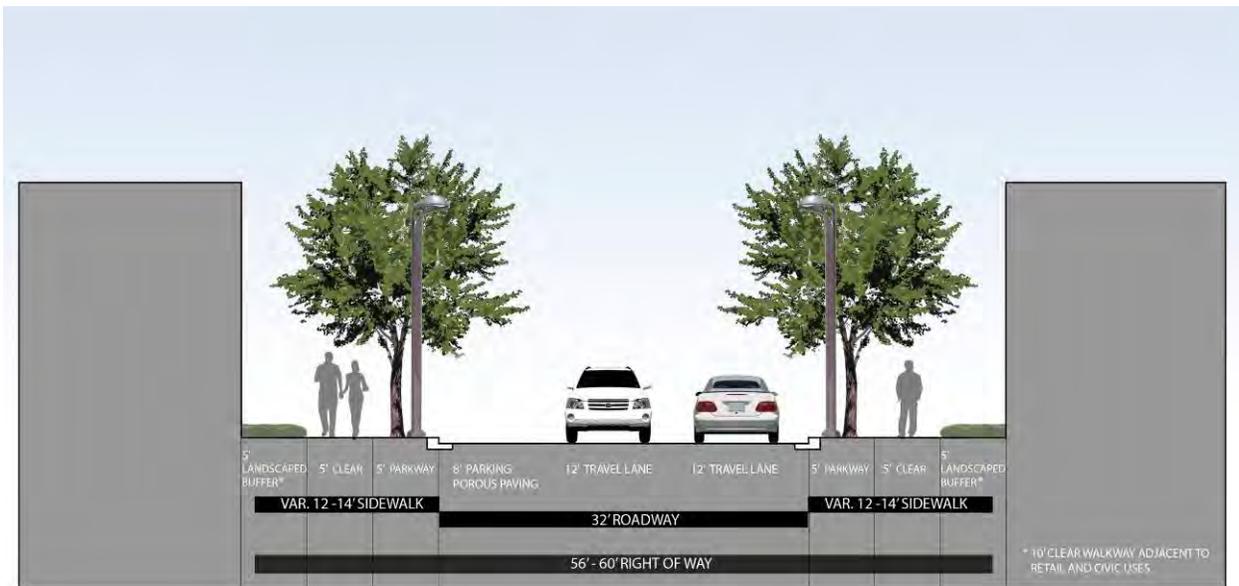
- The Downtown Master Plan shows Franklin Street closed to traffic in order to accommodate a parking structure serving the non-residential portion of the Cultural District. As the Performing Arts Center is no longer under consideration, a smaller footprint for the parking structure would be required, allowing Franklin Street to remain open and provide pedestrian access from Spring Street to the Main Street Circle.
- Adequate crosswalks and curb ramps shall be provided at all intersections as shown on **Figures 3-2 and 3-3**. Crosswalks shall be a minimum of 15 feet wide. Curb ramps shall meet accessibility requirements.
- In addition to the wide sidewalks on the eastside and westside of the Circle, pedestrian pathways should be provided within the Circle.
- Along the curb on the Main Street Circle a 6-foot wide landscape parkway and a 8-foot wide decomposed granite sidewalk suitable for jogging should be provided.
- In the center of the Circle along the vacated Main Street pavement, a continuous pathway should be provided allowing a view of Historic Main Street.

## E. Other streets cross-sections

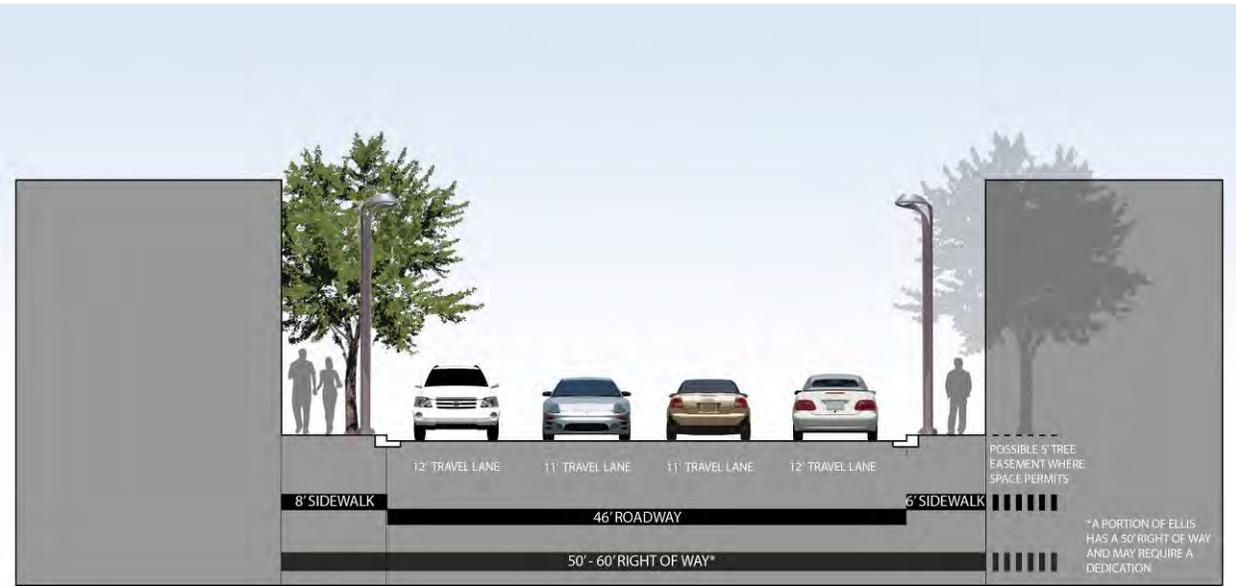
### E1. Sumner Avenue



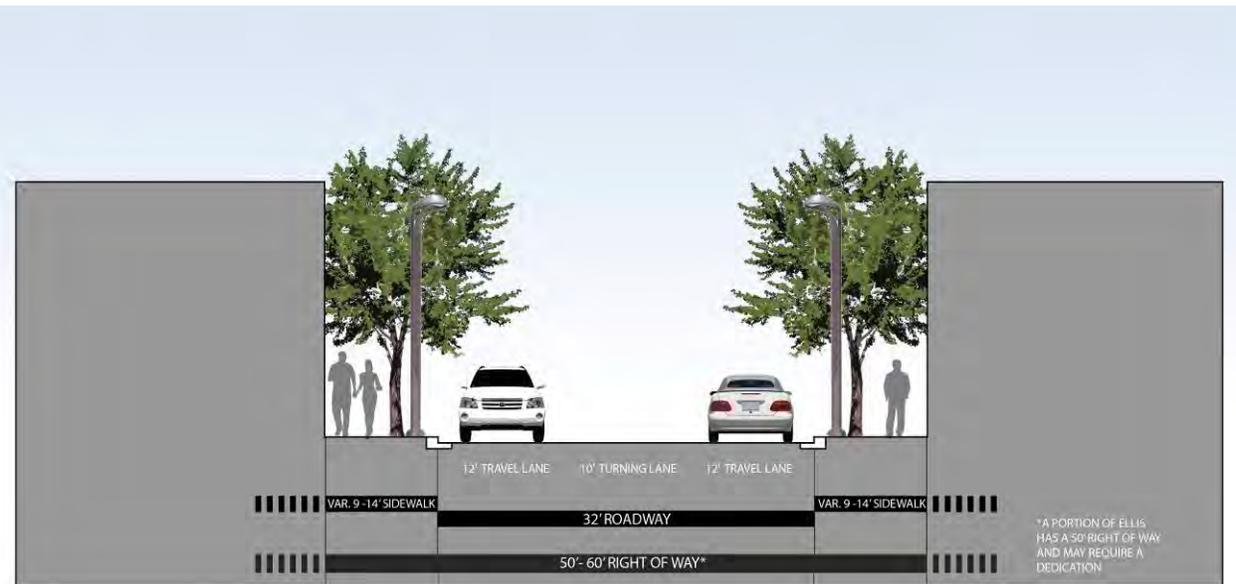
### E2. Franklin Street



**E3. Ellis Street: Option 1 Showing Four Travel Lanes**



**E4. Ellis Street: Option 2 Showing Two Travel Lanes**



**F. Street Furniture and Lighting Options**

The Street Furniture palette in the Cultural District should reflect and complement its contemporary character. In order to facilitate maintenance and replacement, it is recommended that components from a single manufacturer line be utilized for pedestrian lighting, trash receptacles, bollards, benches and bicycle racks among others.

The optional concept shows compatible components from multiple manufacturers.

**Figures 3-10 and 3-11** show examples of contemporary street furniture that could be utilized in the Cultural District.

**Figure 3-12 and 3-13** show conceptual design for primary gateway and districts signage. Material, color and finishes may change according to the character of each district.



**Figure 3-10:**  
Recommended: Single line / Landscape Forms "Metro 40" series or similar



**Figure 3-11:**  
Option: Multiple lines / Lumec "Calisto" series and Landscape Forms Neoliviano

## G. Gateway and District Signage

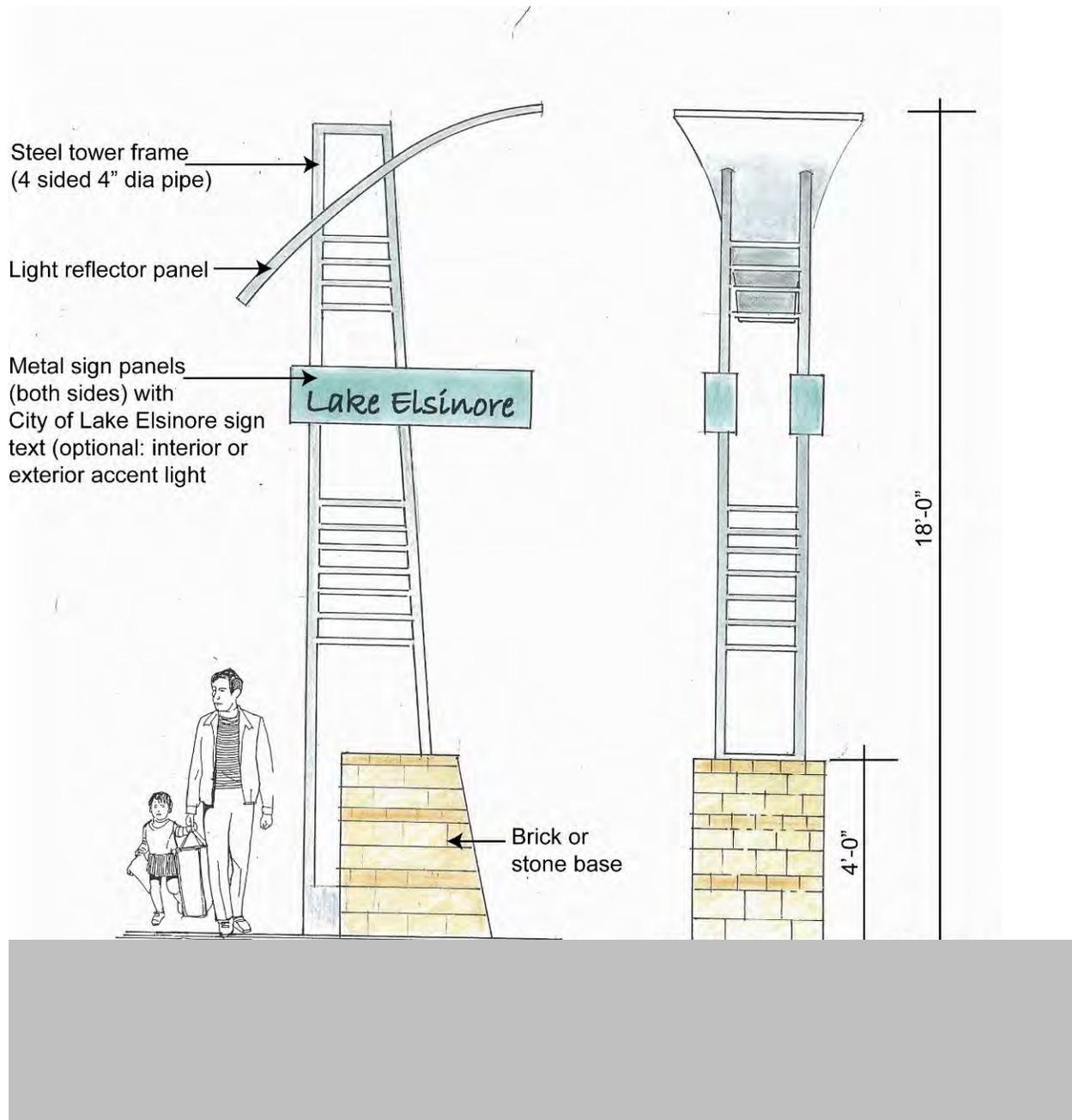
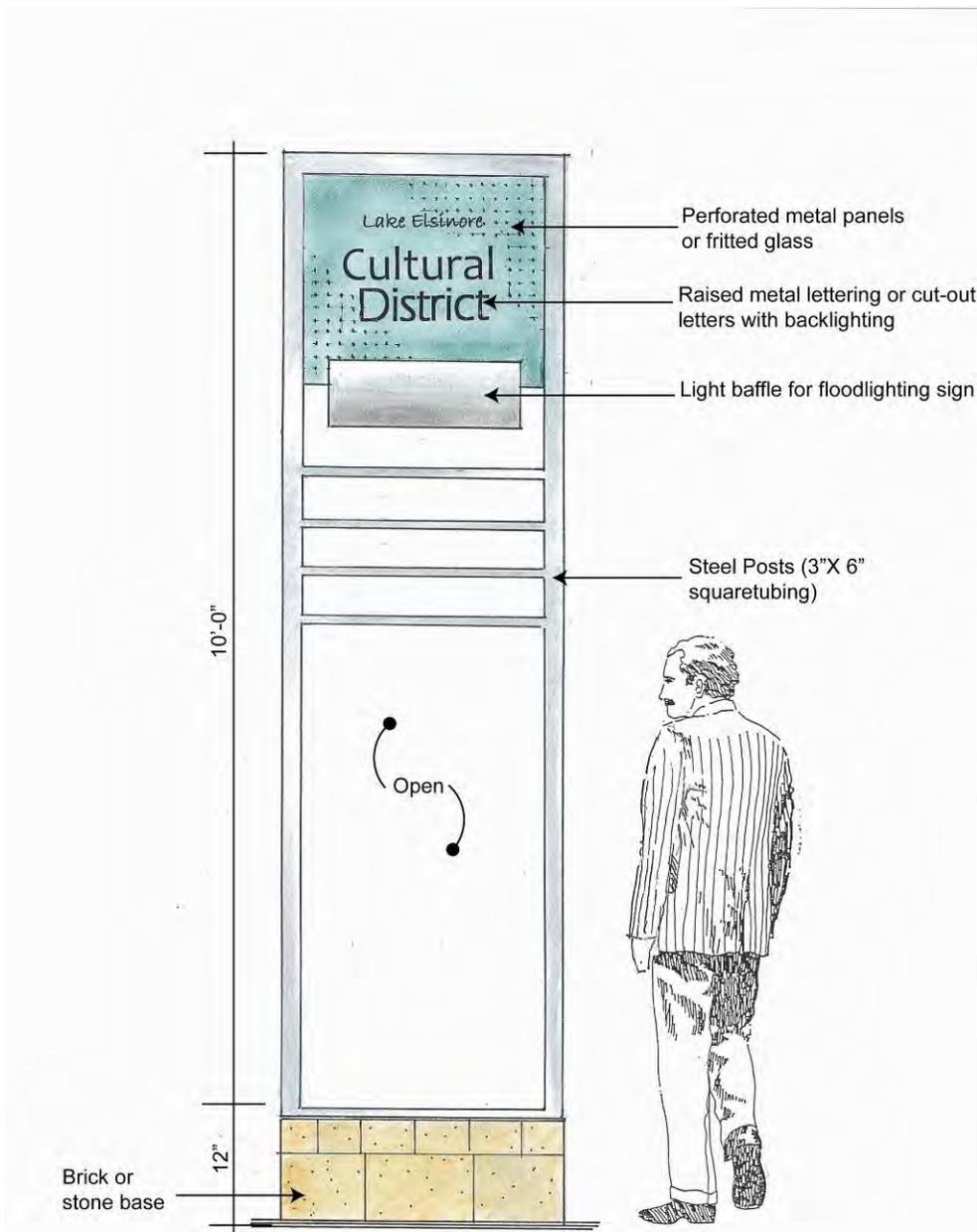


Figure 3-12:  
Conceptual Design for Primary Gateway Sign



**Figure 3-13:**  
**Conceptual Design for District Sign**

### 3.2 Private Realm

The Draft Downtown Master Plan designates two land use zones in the Cultural District:

- Commercial Mixed-Use
- Residential Mixed-Use

Each land use zone has multiple building types. For examples of building types, see Section 2.5F.

### A. Development Standards

**Table 3-1** summarizes the development standards in the Cultural District per the Draft Downtown Master Plan and Downtown Code. See the Downtown Code for more detail. Shaded areas are recommended modifications to the Downtown Code.

**Table 3-1: Development Standards in the Cultural District**

|                                 | Land Use Zone   | Building Type FAR                                       | Build to Line (feet)                   | Max Height(feet)  | Setbacks   | Residential Density | Parking  |
|---------------------------------|---|---|--|---|--|---------------------|--|
| 2009 Draft Downtown Master Plan | Mixed-Use Commercial *  | Mixed Use Commercial: 0.8 + 20% bonus                   | Mixed-Use Commercial: 20'              | Mixed-Use Civic / Multi-Family Residence 45'  | Variable according to land use types. See Downtown Code and Tables 3-2 through 3-6 which follow. | 7-18 du/acre        | Cultural: TBD by parking analysis  |
| Downtown Code                   | See Downtown Code for allowable uses                                    | Mixed Use Civic: 1.2 for residential 1.0 for commercial | Mixed-Use Civic: 25'                   | Retail Pavilions 20'  |  |                     | Commercial: 5/1000 sqft<br>Office: 3/1000 sqft   |
|                                 | *A minimum of 50% of total building area must be commercial development | Retail: 0.8   | Retail Pavilions: 20'                  | Courtyard Residence / Cultural & Public 45'   |  |                     | Mixed use: Sum of all specific use requirements within each land use.  |
|                                 |   |   | Retail – East side of Main Street: 20' | Mixed-Use Retail on Main Street 60'   |  |                     | However, with a shared parking analysis and a shared parking structure, the number of parking spaces may be reduced to reflect a more accurately derived parking demand. |
|                                 |   |   | Retail – West side of Main Street: 25' | Mixed-Use Commercial, Parking Deck 90'; transition to 60' adjacent to residential zones |  |                     |  |
|                                 |   | Cultural & Public: 1.0                                  | Cultural & Public 1 25'                |   |  |                     |  |
|                                 |   |   | Cultural & Public 2 20'                |   |  |                     |  |

**Table 3-1 (continued)**

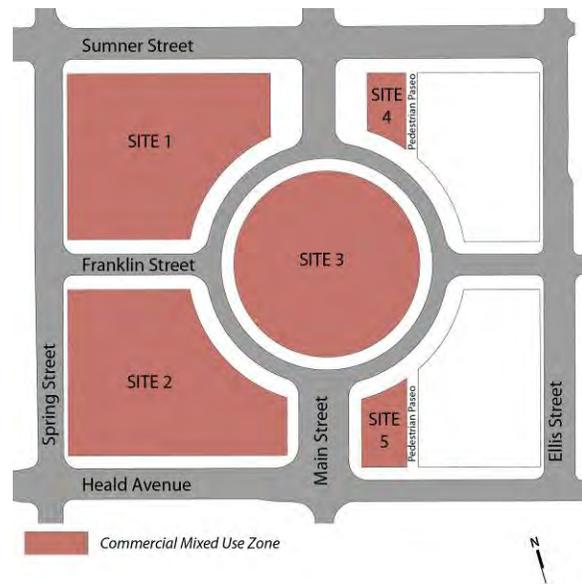
|  | Land Use Zone   | Building Type FAR | Build to Line (feet)  | Max Height(feet)   | Setbacks   | Residential Density                                  | Parking  |
|--|---|-------------------|---|--|--|--|--|
|  | Mixed-Use Residential<br><br>See Downtown Code for allowable uses<br><br>*20-35% of total building area must be non-residential development | 1.2               | Courtyard Residence: 20'<br><br>Courtyard Residence at Pedestrian paseo 28'<br><br>Multi-family Residence: 20'<br><br>Parking Deck: 20' | Courtyard Residence: 45' *<br><br>Multi-Family Residence: 45' *<br><br>Mixed-Use Residential: 45' *<br><br>*35' along Ellis Street | Variable according to land use types. See Downtown Code and Tables 3-2 through 3-6 which follow. | 19 – 24 du/acre*<br><br>*Up to 35 du/acre with Bonus | Residential: 2 per unit<br><br>Project with 10+ residential units: 1 guest space per 10 units<br><br>Mixed use: Sum of all specific use requirements within each land use. |

**B. Mixed-Use Commercial**

Five sites totaling 5.2 acres, or about 218,000 square feet, are zoned mixed-use commercial within the Cultural District.

**B1. Civic/Cultural Program**

The current program for civic/cultural components for the Cultural District in the “Key to Downtown” Implementation Plan includes a 25,000 square feet public library, a museum/cultural center, possible adaptive reuse of the historic Armory Building for a tourist information center, and a Motorcross Hall of Fame. The Performing Arts Complex proposed in the Downtown Master Plan has been removed from the program and it may be replaced by a post office headquarters or another public facility.



**B2. Development Potential**

Based on 0.8:1 max allowable FAR, 174,000 SF of the mixed-use commercial building type may be developed within the Cultural District, plus additional 20% FAR density bonus for exceptional architecture, to a grand total of approximately 209,000 SF.

The *Draft Downtowncode* requires that a minimum of 50 percent of total building square footage, or 104,500 SF, be commercial development. The other 50 percent may be developed into a mix of commercial, civic uses, and/or residential.

### B3. Building Heights Limits

Although the *Draft Downtowncode* establishes 90 feet maximum allowable height for mixed-use commercial buildings in the Cultural District, the maximum height is only applicable for the parking structure. Building height limits are established by building types as indicated in **Table 3-1**.

The distribution of 209,000 SF of allowable development throughout the five mixed-use commercial sites in the Cultural District will generate building heights ranging from one to three stories.

### B4. Parking

The *Draft Downtowncode* requires five parking spaces per 1,000 square feet of commercial space and three spaces per 1,000 square feet of office space. Assuming the sites are developed for 209,000 sf of retail and office, it is assumed that approximately 614 parking spaces would be required. Upon determination of a program, a parking analysis must be performed to determine active parking requirements for the civic/cultural component of the Cultural District.

The Downtown Master Plan proposes a parking structure located between Sumner Avenue, Spring Street and Franklin Street. The parking structure should accommodate approximately 90% of the total required parking spaces for the Cultural District commercial, office, and civic uses. The remaining 10% should be distributed among individual commercial

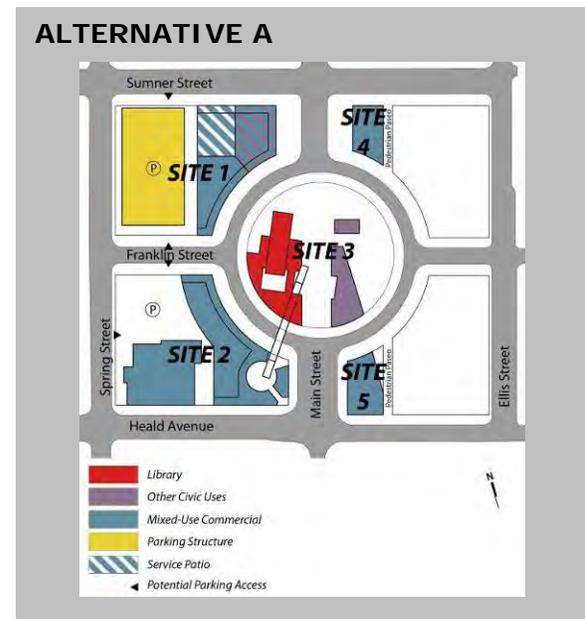
properties such as the existing supermarket.

### B5. Alternative Development Scenarios

As mentioned in Section 3.0, two alternative scenarios for the mixed-use commercial portion of the Cultural District respond to the intent of the Downtown Master Plan while taking into account current zoning regulations and site constraints in the “Key to Downtown” Area. The selected scenario will depend on a variety of factors and additional analysis such as more detailed engineering, parcel ownership, grading, coordination with Riverside County as to the location of the library, etc. The scenarios should be considered flexible and are provided to understand the maximum development potential with standards provided in the Downtown Code.

#### **Alternative A: Library in the Circle**

The Downtown Master Plan proposes civic uses within the 150’ radius Main Street Circle including a library, a museum, and the historic Armory building. Commercial and civic uses encircle.



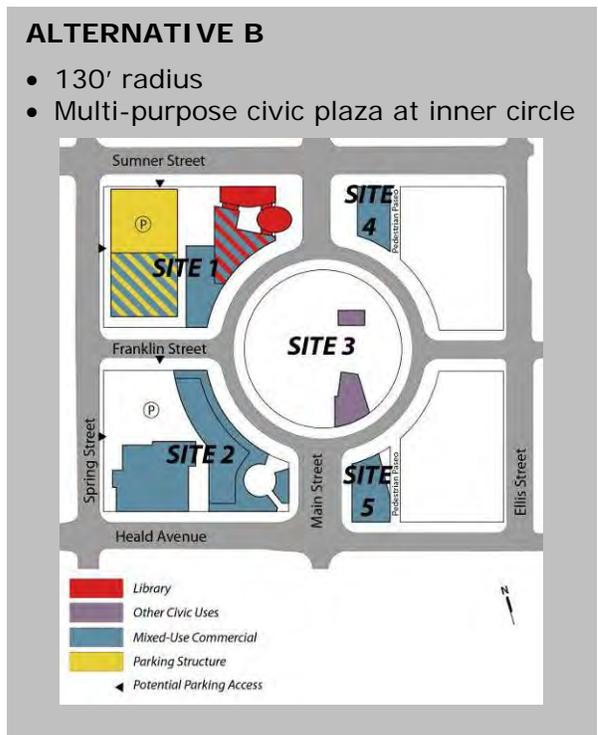
Alternative A characteristics, standards and guidelines are:

- The Main Street Circle should have an approximately 150' radius.
- One-level 25,000 square feet public library, a museum, the historic Armory building, plus a tourist information center, are located within the inner circle.
- ADA parking spaces shall be provided along the edge of the circle.
- A 50' wide pedestrian path aligned with Main Street should be provided between buildings to allow views of the historic Main Street
- A Post office headquarters or other civic facility should be located in the northwest quadrant of the Cultural District.
- Commercial component shall comprise at least half of the total square footage of the proposed scheme.
- In multi-story commercial buildings, retail should be located at ground level with offices or residential on the upper levels.
- 176,000 SF total commercial mixed use consisting of 140,000 SF commercial space and 36,000 SF civic space, excluding library.
- Approximately 614 parking spaces should be provided (305 for commercial, 78 for civic, and 237 for office).
- Approximately 90% of required parking spaces should be provided in a multilevel structure at the corner of Spring and Sumner Streets with access from Franklin and /or Sumner Streets.
- Additional surface parking should be located in site two, with access from Franklin or Spring Streets.
- Service alleys and loading docks should be located off Sumner and Heald Avenues.

**Alternative B: Library on Northwest side of Circle**

This “Key to Downtown” Implementation Plan proposes the reduction of the Main

Street Circle from 150' to 130' in response to a major change in the Draft Master Plan which removed the Performing Arts Center from the cultural program in the Cultural District. The proposed library occupies the site previously planned for the Performing Arts Center. The Armory building and the new museum remain within the inner circle as proposed in the Draft Downtown Master Plan amid a multi-purpose civic plaza.



Alternative B characteristics, standards and guidelines are:

- The Main Street Circle should have an approximately 130' radius.
- A one-level approximately 25,000 square feet public library with direct access from the parking deck should be located in the northwest quadrant of the Cultural District.
- The historic Armory building should be retained in the inner circle.

- A new contemporary museum building should be located across from the Armory building.
- A multi-purpose civic plaza that incorporates water features and outdoor activities such as playground, small amphitheater and grove of fruit trees should occupy the inner circle.
- ADA parking spaces should be provided near the buildings with entrance off the eastside of the circle at the Franklin Street intersection.
- Commercial component shall comprise at least half of the total square footage of the proposed scheme.
- In multi-story commercial buildings, retail should be located at ground level with offices on the upper levels.
- 176,000 sf total commercial mixed use being 143,000 sf commercial space and 30,000 sf civic space.
- 639 parking spaces shall be provided (375 for retail, 60 for civic, and 204 for office).
- Approximately 90% of required parking spaces should be provided in a

multilevel structure at the corner of Spring and Sumner Streets.

- Access to parking should be from Franklin or Sumner Streets.
- Additional surface parking should be located in site two, with access from Franklin or Spring Streets.
- Loading docks should be located in the service alley between buildings with accesses from Sumner Avenue and Heald Avenue.

**B6. Mixed-Use Commercial Parcels**

**Tables 3-2 through 3-6** provide additional standards and guidelines for mixed-use commercial parcels in the Cultural District.

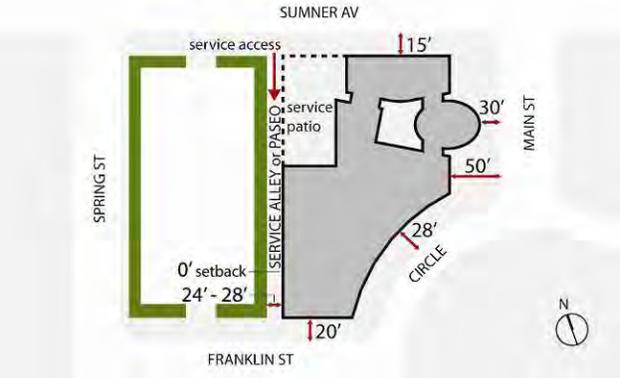
**Table 3-2**

| <b>Cultural / Public / Office on Site 1 (Alternative A)</b>  |                       |
|--|-----------------------|
| <p><u>Alternative A</u></p> <ul style="list-style-type: none"> <li>• Post Office Headquarters or another civic facility located at the corner of Sumner Avenue and Main Street.</li> <li>• Retail on ground floor along Main Street Circle with offices on upper floors near Sumner Avenue.</li> <li>• Service patio is located between the parking structure and the main building.</li> <li>• Service access off Sumner Avenue through a 24'-28' wide alley.</li> <li>• Commercial uses should be provided in ground floor of parking structure facing Franklin Street along Main Street.</li> </ul> | <p><b>MASSING</b></p> |

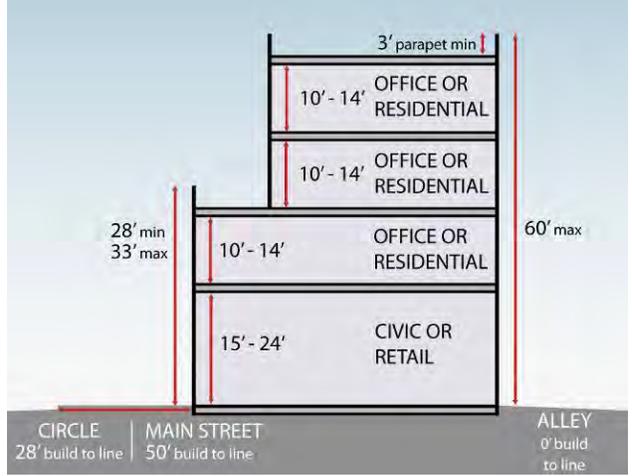
**Table 3-2 (continued)**

|  |  |
|--|--|
| <p><u>Build to Line:</u></p> <p>Main Street Gateway – 50’</p> <p>Circle – 28’</p> <p>Franklin Street – 20’</p> <p>Sumner Avenue – 15’</p> <p><u>Setbacks :</u></p> <p>Service Alley or Paseo – 0’</p> <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet.</li> </ul>  | <p style="text-align: center;"><b>PLAN</b></p> <p style="text-align: center;">*all values are build to lines unless otherwise noted.</p>   |
| <p><u>Height: maximum 60’</u></p> <ul style="list-style-type: none"> <li>The height at entry Rotunda may be higher than the maximum required height.</li> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.</li> <li>The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.</li> <li>The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.</li> </ul> | <p style="text-align: center;"><b>SECTION</b> (vertical scale exaggerated)</p> <p style="text-align: center;">*all values are floor to floor heights unless otherwise noted.</p> |

**Table 3-3**

| <b>Cultural / Public / Office on Site 1 (Alternative B)</b>   |  |
|---|--|
| <p><u>Alternative B</u></p> <ul style="list-style-type: none"> <li>Approximately 25,000 SF all ground level Library uses and offices or residential on upper floors.</li> <li>Retail at ground level along Main Street at the corner of Franklin Street.</li> </ul>   | <p><b>MASSING</b></p>    |
| <p><u>Build to Line:</u></p> <p>Main Street Gateway - 50'; maximum 40% @ 30'</p> <p>Circle - 28'</p> <p>Franklin Street - 20'</p> <p>Sumner Avenue - 15'</p> <p>Setbacks :</p> <p>Service Alley or Paseo - 0'</p> <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet.</li> </ul> | <p><b>PLAN</b></p>  <p>*all values are build to lines unless otherwise noted.</p> |

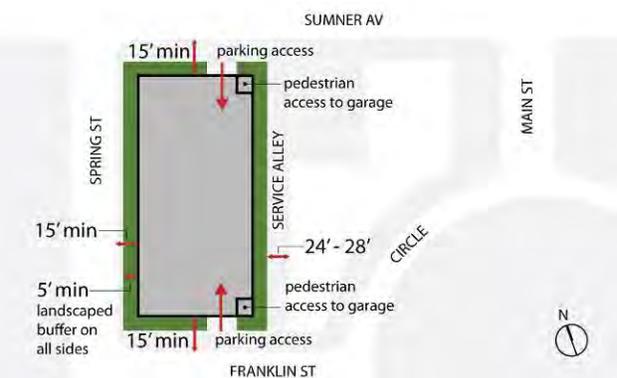
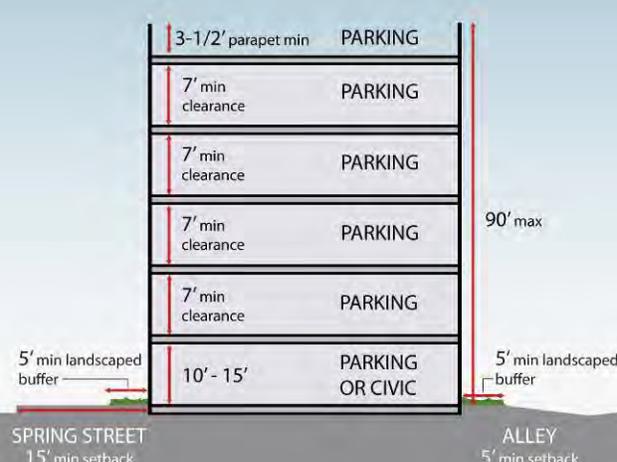
**Table 3-3 (continued)**

|   |   |
|---|---|
| <p><u>Height : maximum 60'</u></p> <ul style="list-style-type: none"> <li>The height at entry Rotunda may be higher than the maximum required height.</li> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.</li> <li>The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.</li> <li>The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.</li> </ul> | <p><b>SECTION</b> (vertical scale exaggerated)</p>  <p>*all values are floor to floor heights unless otherwise noted.</p> |
|---|---|

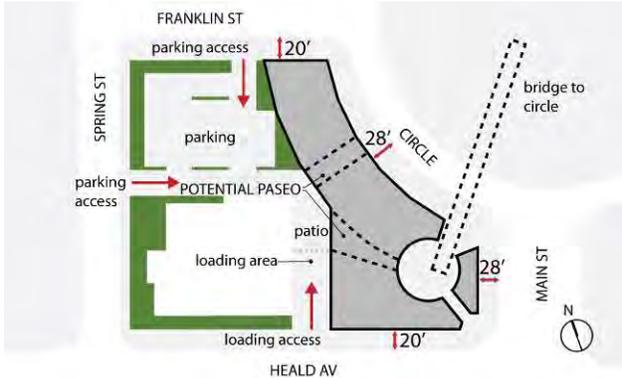
**Table 3-4**

| <p><b>Parking Structure on Site 1 (Alternatives A or B)</b></p>   |  |
|---|--|
| <ul style="list-style-type: none"> <li>Parking structure with shared parking for commercial and civic uses in the Cultural District.</li> <li>Approximately 610 parking spaces will be required based on proposed development.*</li> <li>Vehicular and Pedestrian access on Franklin Street and / or Sumner Avenue.</li> <li>Possible retail or post office facility on ground floor along Franklin Street.</li> <li>No vehicular access permitted from Spring Street.</li> </ul> <p>*This number may change based on mix of uses of future proposed development.</p> | <p><b>MASSING</b></p>  |

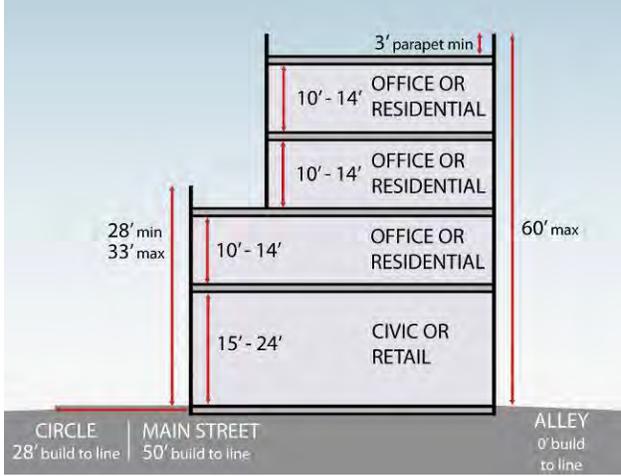
**Table 3-4 (continued)**

|  |  |
|--|--|
| <p><u>Setbacks:</u></p> <ul style="list-style-type: none"> <li>Minimum 5' landscaped setback from the sidewalk along all sides of parking structure or minimum 15' setback from curb Spring Street, Sumner Avenue, and Franklin Street, whichever is greater.</li> </ul>   | <p style="text-align: center;"><b>PLAN</b></p>  <p style="text-align: center;">*all values are setbacks unless otherwise noted.</p>  |
| <p><u>Height: Maximum 90'</u></p> <ul style="list-style-type: none"> <li>The minimum clearance for each level should be no less than 7 feet, except for the ground floor which should be between 10 and 15 feet to allow for parking for vans and light trucks.</li> <li>Above 60 feet the building should step back along streets fronting residential, or another form of articulation should be used to reduce the building massing and add visual interest.</li> </ul> | <p style="text-align: center;"><b>SECTION</b> (vertical scale exaggerated)</p>  <p style="text-align: center;">*all values are floor to floor heights unless otherwise noted.</p> |

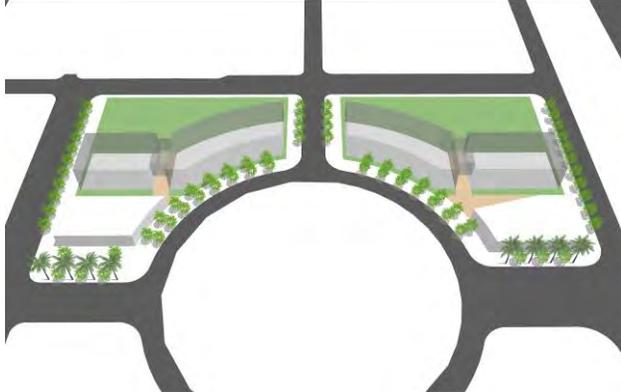
**Table 3-5**

| <b>Retail/ Office on Site 2 (Alternatives A or B)</b>   |  |               |  |              |                 |       |              |       |                    |      |  |
|---|--|---------------|--|--------------|-----------------|-------|--------------|-------|--------------------|------|--|
| <ul style="list-style-type: none"> <li>• Retail on ground floor along Main Street Circle.</li> <li>• Courtyard with second story retail at the corner of Main Street and Heald Avenue.</li> <li>• Offices on upper floors.</li> <li>• Minimum 6' wide, 16' clearance Pedestrian bridge over Main Street is allowed only if Library building is located in the Inner Circle.</li> <li>• At least one mid-block pedestrian connection with existing supermarket is required</li> </ul>  | <p style="text-align: center;"><b>MASSING</b></p>  |               |  |              |                 |       |              |       |                    |      |  |
| <p>Build to Line:</p> <table border="0"> <tr> <td>Main Street</td> <td>Gateway - 28'</td> </tr> <tr> <td></td> <td>Circle - 28'</td> </tr> <tr> <td>Franklin Street</td> <td>- 20'</td> </tr> <tr> <td>Heald Avenue</td> <td>- 20'</td> </tr> </table> <p>Setbacks:</p> <table border="0"> <tr> <td>Rear property line</td> <td>- 0'</td> </tr> </table> <ul style="list-style-type: none"> <li>• Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>• Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet, except when connected to an inner block courtyard or pedestrian paseo.</li> </ul> | Main Street  | Gateway - 28' |  | Circle - 28' | Franklin Street | - 20' | Heald Avenue | - 20' | Rear property line | - 0' | <p style="text-align: center;"><b>PLAN</b></p>  <p style="text-align: center;">*all values are build to lines unless otherwise noted.</p> |
| Main Street   | Gateway - 28'  |               |  |              |                 |       |              |       |                    |      |  |
|   | Circle - 28'   |               |  |              |                 |       |              |       |                    |      |  |
| Franklin Street   | - 20'  |               |  |              |                 |       |              |       |                    |      |  |
| Heald Avenue  | - 20'  |               |  |              |                 |       |              |       |                    |      |  |
| Rear property line  | - 0'   |               |  |              |                 |       |              |       |                    |      |  |

**Table 3-5 (continued)**

|   |   |
|---|---|
| <p>Height : maximum 60'</p> <ul style="list-style-type: none"> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.</li> <li>The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.</li> <li>The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.</li> </ul> | <p style="text-align: center;"><b>SECTION</b> (vertical scale exaggerated)</p>  <p style="text-align: center;">*all values are floor to floor heights unless otherwise noted.</p> |
|---|---|

**Table 3-6**

| Retail Pavilion on Sites 4 and 5 (Alternatives A or B)  |  |
|---|--|
| <ul style="list-style-type: none"> <li>Stand alone one-story retail building.</li> <li>Storefront windows and customer access should face Main Street, the Circle, and/or Sumner Avenue.</li> <li>The façade facing the paseo, which fronts residential, should have two or more of the following façade treatments:             <ul style="list-style-type: none"> <li>- Articulated walls.</li> <li>- Landscaping (trees, shrubs, and/or vines).</li> <li>- Public art or murals.</li> <li>- Limited window displays.</li> </ul> </li> <li>Signage along paseo limited to one 24 square foot sign per business, maximum three per retail pavilion. No backlit or neon signs permitted along paseo.</li> </ul> | <p style="text-align: center;"><b>MASSING</b></p>  |

**Table 3-6 (continued)**

|  |                               |
|--|-------------------------------|
| <u>Build to Line:</u>  |                               |
| Main Street  | Gateway - 28' south of circle |
|  | Circle - 28'                  |
| Franklin Street  | - 20'                         |
| Heald Avenue   | - 20'                         |
| Sumner Avenue  | - 15'                         |
| <u>Setbacks :</u>  |                               |
| Paseo  | - 0'                          |
| <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet, except when connected to an inner block courtyard or pedestrian paseo.</li> </ul> |                               |
| <u>Height: maximum 20'</u>   |                               |
| <ul style="list-style-type: none"> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 18 feet.</li> <li>The ground floor shall have at least 12 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage.</li> </ul>  |                               |

**PLAN**

\*all values are build to lines unless otherwise noted.

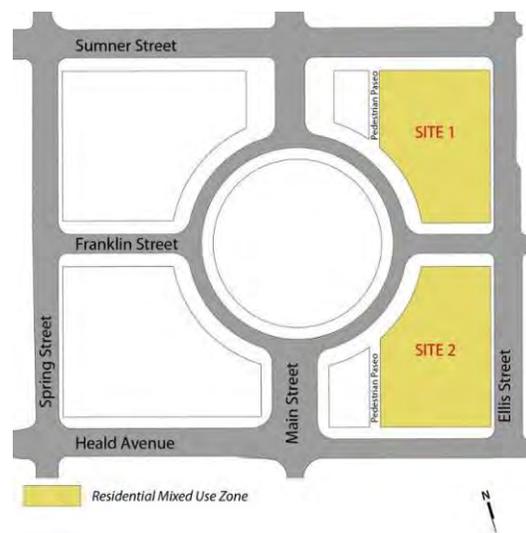
**C. Mixed-Use Residential**

Two sites are zoned mixed-use residential within the Cultural District. Combined the total is slightly more than two acres, or about 91,000 square feet.

C1. Mixed Use Program

The Downtowncode requires 20 to 35 percent of total building square footage to be programmed as non-residential with a FAR for any non-residential component no greater than 1.0:1. Non-residential used could include retail uses, service uses such as dry cleaners, accessory uses such as community rooms for senior housing, and other similar uses. Live/work units should be considered as an option to help

meet the non-residential program requirement for mixed-use residential.



## C2. Development Potential

The maximum allowable FAR for the residential mixed use zone is 1.2:1. Given the square footage of the two residential mixed use sites, this would allow a combined 109,000 square feet to be developed.

|        |                     |
|--------|---------------------|
| Site 1 | 44,000 square feet. |
| Site 2 | 47,000 square feet. |

## C3. Dwelling Unit Density

Nineteen to twenty-four dwelling units per acre are permitted on sites zoned residential mixed use. This may result in between 39 to 50 dwelling units. However, 35 dwelling units per acre are permitted as a density bonus if amenities are included, and the building is sited on a parcel of one acre or greater in size. This would allow up to 72 dwelling units to be built, or 35 dwelling units on site 1 and 37 dwelling units on site 2.

## C4. Building Height Limits

The Draft Downtowncode establishes a 45 feet building height limit for a Courtyard residences and Multi-Family residences. The Key to Downtown Plan recommends a 35 foot building height limit for live-work units.

## C5. Parking

The Draft Downtowncode requires two parking spaces per residential unit and one guest space per ten residential units. For 72 proposed units, a total of 150 parking spaces would be required. If senior or affordable housing is proposed, consideration should be given to reducing the amount of parking required. A further unspecified number of parking spaces will be required depending on the type and square footage of the non-residential component.

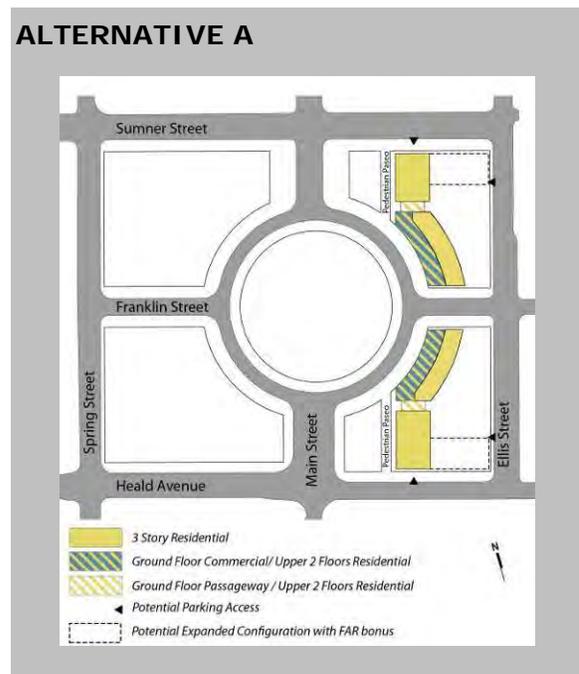
## C6. Alternative Development Scenarios

Three alternative scenarios for the mixed-use residential portion of the Cultural District respond to the intent of the Downtown Master Plan while taking into account current zoning regulations and site constraints in the “Key to Downtown” Area.

The selected option will depend on a variety of factors and additional analysis such as more detailed engineering, parcel ownership, grading, etc.

### **Alternative A – Mixed-Use Residential**

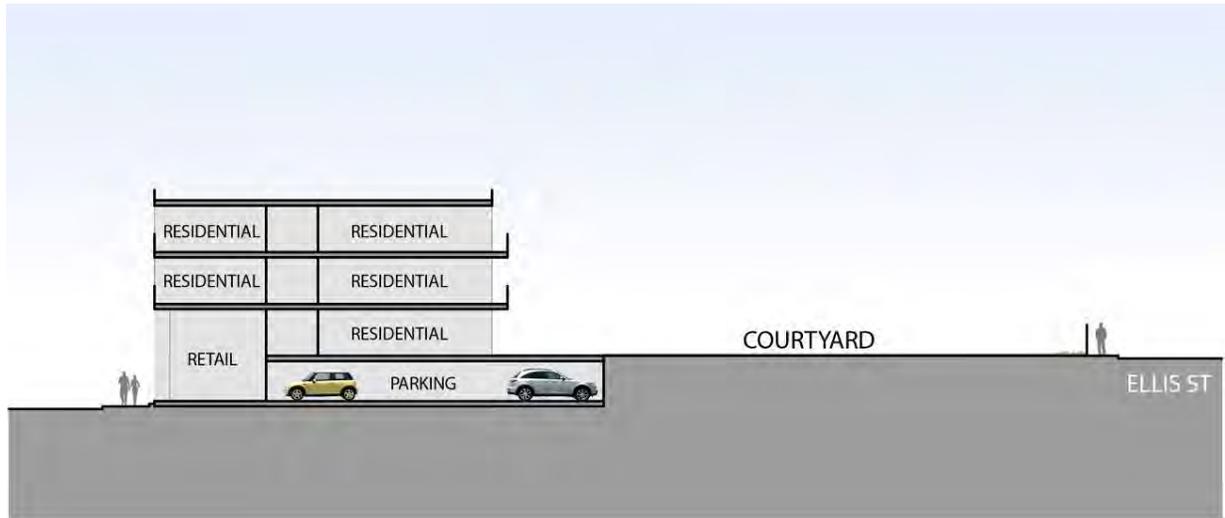
In Alternative A, a minimum 3-story building edge along the circle’s eastside is desired in keeping with the scale of the 150’ circle proposed in the Downtown Master Plan. A double-loaded courtyard building for these parcels is proposed in the Master Plan. However, with a 1.2 FAR and 3-story buildings, a courtyard building could only be accomplished with the utilization of 25 % FAR bonus for senior or affordable housing.



Alternative C characteristics, standards and guidelines are:

- 150' radius Circle.
- 3-story mixed-use residential / retail.
- 218,000 SF total residential mixed-use
- 70 total residential units.
- Double-loaded residential building
- Retail component (20 % of total SF) located on the ground floor fronting the circle.

- Parking located partially underground to take advantage of grade change between Ellis Street and Main Street.
- Parking access is from Ellis or Sumner Streets.
- Pedestrian paseo separates the mixed-use commercial from the mixed-use residential portion of the block.
- Ground floor residential 3' above paseo level with stoop and landscaping.
- Pedestrian access between the courtyard and the pedestrian paseo.

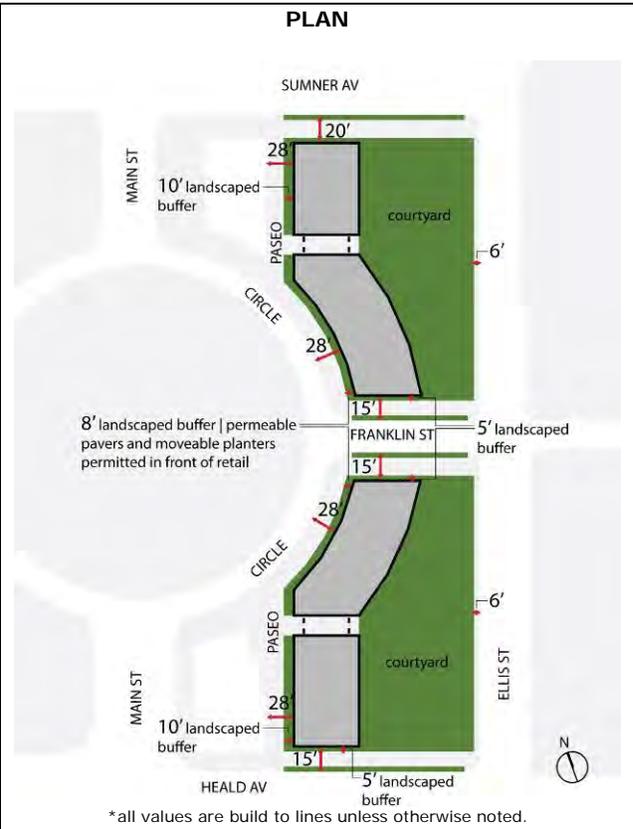


**Table 3-7**

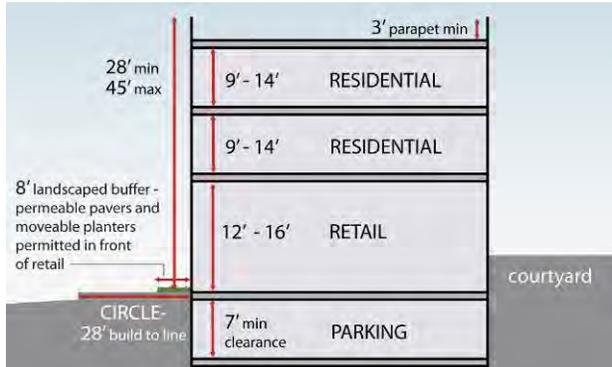
| <b>3-story Retail / Residential on Sites 1 and 2 (Alternative A)</b>  |                       |
|---|-----------------------|
| <p><b>Alternative A</b></p> <ul style="list-style-type: none"> <li>• Mixed-Use Residential parcels separated from Mixed-Use Commercial parcel by a pedestrian paseo.</li> <li>• Neighborhood retail or services on ground floor at Main Street Circle.</li> <li>• 2-3 story Residential apartments.</li> <li>• Underground and/or partially underground parking preferred.</li> <li>• Ground floor residential units fronting Franklin Street, Sumner Avenue, Ellis Street, or Heald Avenue should have direct street access in addition to access from an interior corridor. Exceptions may be made for senior housing or co-housing.</li> <li>• Shared landscaped courtyard or garden in interior of block and/or fronting Ellis Street.</li> <li>• Shared courtyard or garden should be accessible directly from Ellis Street and the pedestrian paseo.</li> <li>• Habitable roofs, green roofs, and/or articulated roofs should be encouraged.</li> </ul> | <p><b>MASSING</b></p> |

**Table 3-7 (continued)**

|   |         |
|---|---------|
| <u>Build to Line:</u>   |         |
| Main Street Circle  | - 28'   |
| Franklin Street   | - 20'   |
| Heald Avenue  | - 20'   |
| Sumner Avenue   | - 15'   |
| Ellis Street  | - 6'    |
| <u>Landscaped buffers*:</u>   |         |
| Service Alley or Paseo  | - 10'   |
| Main Street Circle  | - 8' ** |
| Franklin Street   | - 5'    |
| Sumner Avenue   | - 5'    |
| Heald Avenue  | - 5'    |
| Ellis Street  | - 6'    |
| *landscaping between build to line and sidewalk   |         |
| **permeable pavers and moveable planters permitted in front of retail.  |         |
| <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 12 feet.</li> </ul> |         |

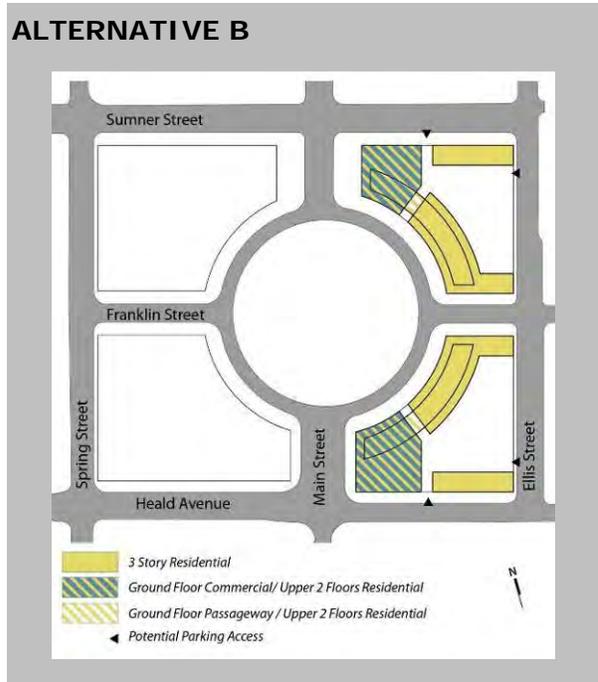


**Table 3-7 (continued)**

|  |   |
|--|---|
| <p><u>Height : maximum 45'</u></p> <ul style="list-style-type: none"> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 45 feet.</li> <li>The ground floor shall have at least 12 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 16 feet.</li> <li>The minimum floor-to-floor story height limit for upper stories is 9 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>Above 33 feet on any façade fronting Ellis Street, the building should step back or another form of articulation should be used to reduce the building massing and add visual interest.</li> <li>Underground parking shall have a minimum 7 feet clearance.</li> </ul> | <p><b>SECTION</b> (vertical scale exaggerated)</p>  <p>*all values are floor to floor heights unless otherwise noted.</p> |
|--|---|

**Alternative B**

Alternative B proposes re-zoning the blocks in the eastside of the circle to combine the parcels currently zoned mixed-use commercial with the mixed-use residential designation. This results in larger residential mixed use sites that cover the entire block. This configuration facilitates the implementation of a courtyard building.



Alternative B characteristics, standards and guidelines are:

- 150' or 130' radius circle
- Whole block zoned mixed-use residential
- 218,000 SF total residential mixed-use
- 20% as non-residential use.
- 3-story double-loaded building fronts the circle
- 2-story single-loaded wings along Franklin Street, Sumner Street and Heald Avenue.
- 70 total residential units
- Courtyard

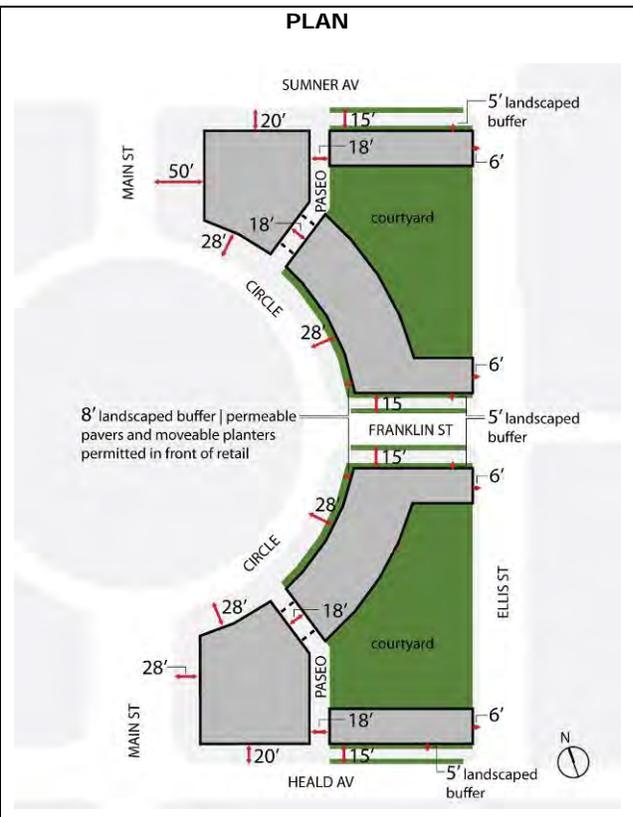
- Commercial component located on the ground floor as gateways on both corners of Main Street.
- Parking located partially underground to take advantage of grade change between Ellis Street and Main Street.
- Access to parking from Ellis or Sumner Streets.
- Pedestrian paseo separates the mixed-use commercial from the mixed-use residential portion of the block
- Pedestrian access between the courtyard and the pedestrian paseo.

**Table 3-8**

| <b>3-story Retail / Residential on Sites 1 and 2 (Alternative B)</b>  |                       |
|---|-----------------------|
| <p><u>Alternative B</u></p> <ul style="list-style-type: none"> <li>• All parcels re-zoned as Mixed-Use Residential</li> <li>• Neighborhood retail or services on ground floor at Main Street Gateway, Main Street Circle, Sumner Avenue, and Heald Avenue.</li> <li>• 2-3 story Residential apartments.</li> <li>• Underground and/or partially underground parking preferred.</li> <li>• Ground floor residential units fronting Franklin Street, Sumner Avenue, Ellis Street, or Heald Avenue should have direct street access in addition to access from an interior corridor. Exceptions may be made for senior housing or co-housing.</li> <li>• Shared landscaped courtyard or garden in interior of block and/or fronting Ellis Street.</li> <li>• Shared courtyard or garden should be accessible directly from Ellis Street and the pedestrian paseo.</li> <li>• Habitable roofs, green roofs, and/or articulated roofs should be encouraged.</li> </ul> | <p><b>MASSING</b></p> |

**Table 3-8 (continued)**

|   |               |         |
|---|---------------|---------|
| <u>Build to Line:</u>   |               |         |
| Main Street   | North Gateway | - 50'   |
|   | South Gateway | - 28'   |
|   | Circle        | - 28'   |
| Franklin Street   |               | - 20'   |
| Heald Avenue  |               | - 20'   |
| Sumner Avenue   |               | - 15'   |
| Ellis Street  |               | - 6'    |
| <u>Landscaped buffers*:</u>   |               |         |
| Service Alley or Paseo**  |               | - 0'    |
| Main Street Circle  |               | - 8'*** |
| Franklin Street   |               | - 5'    |
| Sumner Avenue   |               | - 5'    |
| Heald Avenue  |               | - 5'    |
| Ellis Street  |               | - 6'    |
| *landscaping between build to line and sidewalk   |               |         |
| **paseo may be private or accessible to public  |               |         |
| ***permeable pavers and moveable planters permitted in front of retail.   |               |         |
| <ul style="list-style-type: none"> <li>• Street façade shall be built to no less than 75 percent of the overall build-to-line. Portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>• Street façade shall be composed as a simple plane with projections allowed within a maximum of 12 feet.</li> </ul> |               |         |



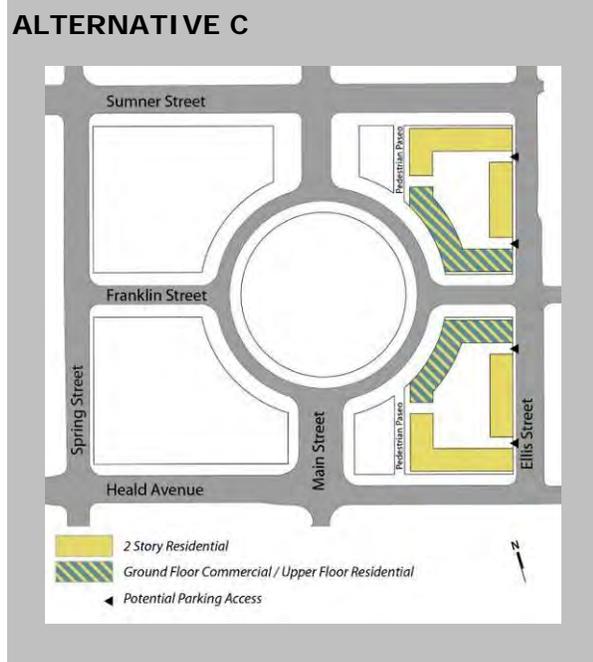
\*all values are build to lines unless otherwise noted.

**Table 3-8 (continued)**

|   |  |
|---|--|
| <p><u>Height : maximum 45'</u></p> <ul style="list-style-type: none"> <li>• The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.</li> <li>• The ground floor shall have at least 12 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 16 feet.</li> <li>• The minimum floor-to-floor story height limit for upper stories is 9 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>• Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>• Above 33 feet on any façade fronting a public street, the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.</li> <li>• Underground parking shall have a minimum 7 feet clearance.</li> </ul> | <p><b>SECTION</b> (vertical scale exaggerated)</p> <p>*all values are floor to floor heights unless otherwise noted.</p> |
|---|--|

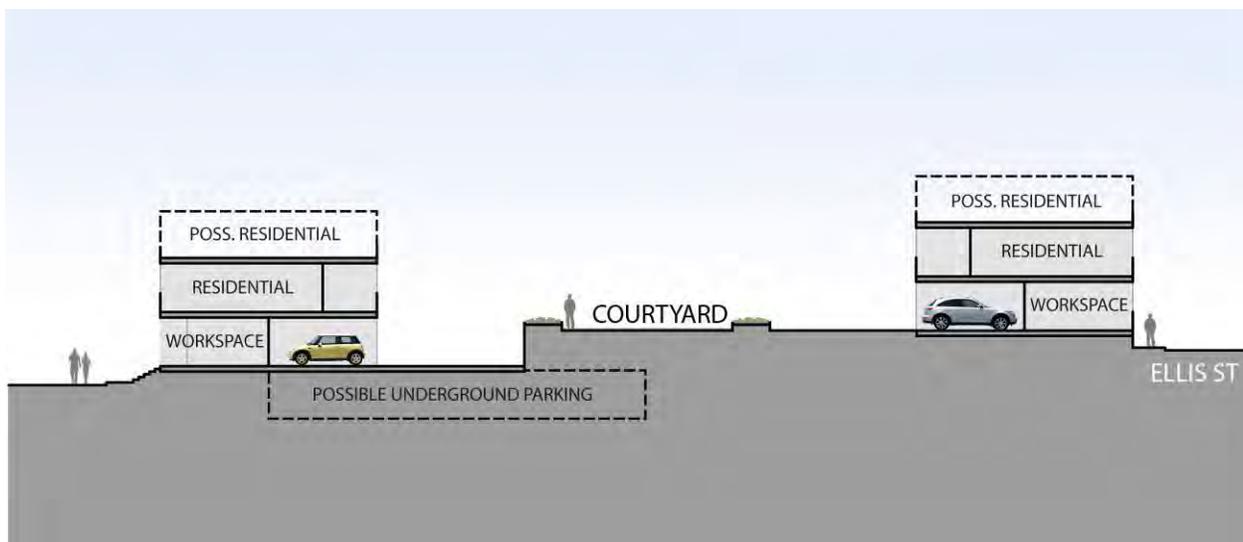
## Alternative C

Alternative C proposes 2-story mixed-use residential development adjacent to a smaller 130' radius circle resulting in an overall smaller scale that also facilitates the implementation of a courtyard building.



Alternative C characteristics, standards and guidelines are:

- 130' radius.
- 99,000 sf total residential mixed-use.
- 20% as non-residential use.
- 2-story building fronts the circle.
- 2-story single-loaded wings along Franklin Street, Sumner Street, Ellis Street and Heald Avenue.
- 79 total residential units.
- Courtyard.
- Neighborhood retail located on the ground floor along Main Street and Franklin Street.
- Commercial component may be live/work units.
- Parking located partially underground to take advantage of grade change between Ellis Street and Main Street.
- Access to parking from Ellis Street.
- Pedestrian paseo separates the mixed-use commercial from the mixed-use residential portion of the block.
- Pedestrian access between the courtyard and the pedestrian paseo.



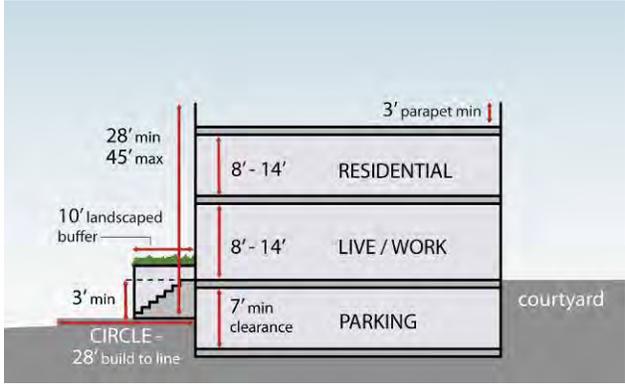
**Table 3-9**

| <b>2 Story Residential on Sites 1 and 2 (Alternative C)</b>  |                       |
|--|-----------------------|
| <p><u>Live/Work</u></p> <p><u>Alternative A</u></p> <ul style="list-style-type: none"> <li>• Mixed-Use Residential parcels separated from Mixed-Use Commercial parcels by a pedestrian paseo.</li> <li>• Live/work units on ground floor at Main Street Circle.</li> <li>• 2 story Residential apartments.</li> <li>• Underground and/or partially underground parking preferred. Each residential unit to have directly accessible private parking.</li> <li>• Ground floor residential units fronting Franklin Street, Sumner Avenue, Ellis Street, or Heald Avenue should have direct street access in addition to access from an interior corridor. Exceptions may be made for senior housing or co-housing.</li> <li>• Shared landscaped courtyard or garden in interior of block.</li> <li>• Shared courtyard or garden should be accessible directly from Ellis Street and the pedestrian paseo.</li> <li>• Habitable roofs, green roofs, and/or articulated roofs should be encouraged.</li> </ul> | <p><b>MASSING</b></p> |

**Table 3-9 (continued)**

|   |  |         |
|---|--|---------|
| <u>Build to Line:</u>   |  |         |
| Main Street   | North Gateway  | - 50'   |
|   | South Gateway  | - 28'   |
|   | Circle   | - 28'   |
| Franklin Street   |  | - 20'   |
| Heald Avenue  |  | - 20'   |
| Sumner Avenue   |  | - 15'   |
| Ellis Street  |  | - 6'    |
| <u>Landscaped buffers*:</u>   |  |         |
| Service Alley or Paseo  |  | - 0'    |
| Main Street Circle  |  | - 8' ** |
| Franklin Street   |  | - 5'    |
| Sumner Avenue   |  | - 5'    |
| Heald Avenue  |  | - 5'    |
| Ellis Street  |  | - 6'    |
| *landscaping between build to line and sidewalk   |  |         |
| **permeable pavers and moveable planters permitted in front of retail.  |  |         |
| <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 12 feet.</li> </ul> | <p style="text-align: center;"><b>PLAN</b></p> <p style="text-align: center;">*all values are build to lines unless otherwise noted.</p> |         |

**Table 3-9 (continued)**

|   |   |
|---|---|
| <p><u>Height : maximum 45'</u></p> <ul style="list-style-type: none"> <li>The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 45 feet.</li> <li>All floors (except parking) shall have at least 9 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit is 14 feet.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>Above 33 feet on any façade fronting Ellis Street, the building should step back or another form of articulation should be used to reduce the building massing and add visual interest.</li> <li>Underground parking shall have a minimum 7 feet clearance.</li> </ul> | <p><b>SECTION</b> (vertical scale exaggerated)</p>  <p>*all values are floor to floor heights unless otherwise noted.</p> |
|---|---|

**Small-Lot Development:**

Alternatives A, B, and C remain applicable even if sites 1 and /or 2 are developed as several individual parcels. In such a scenario, the proposed development should comply with the guidelines and shall comply with the standards described in the relevant section.

**D. Architectural Design Guidelines**

Intent:

*To introduce a contemporary, forward look in the Cultural District of Downtown Lake Elsinore expressed by the quality of design and building materials. Buildings shall be designed as to be innovative but harmonious with the traditional scale and materials of the Historic District.*

D1. Massing and Articulation

- Building massing in the Cultural District should employ strong, simple forms that respond to the circle geometry and reinforce the pedestrian environment along Main Street.
- The ground floor of buildings shall have a different architecture treatment from the upper floors, feature durable high quality materials, and provide visual interest at the pedestrian level.
- The facades facing Main Street in the Cultural District shall be articulated by the use of balconies, overhangs, sunshades, offsets, fenestration, entrances, changes in planes or materials, and expressed staircases and entrances.
- Mixed-use residential buildings should have more articulation than mixed-use commercial buildings, especially balconies, recessed windows,

overhangs and sunshades, and less glass.

## D2. Materials

### Mixed-Use Buildings - Exterior:

- Durable building materials should be used on the ground floor, such as:
  - Stone or brick
  - Glazed concrete block
  - Tile
  - Metal or fabric awnings, and sun shading devices
- On second story and above floors, other materials could be used, such as:
  - Smooth troweled stucco
  - Fiber cement panels
  - Metal panels
  - Recycled materials
- The following exterior materials are discouraged:
  - Imitation stone / veneer
  - Extensive wood siding
  - Heavily textured stucco
  - Adobe
  - Slump stone masonry
- Chain link fencing is prohibited unless fully hidden.
- Windows and doors should consist of:
  - Clear glass with wood or anodized aluminum frames for ground floor space with commercial storefront openings
  - Glass roll-up or folding doors for storefront and live-work
  - Openable windows in work and residential spaces on upper floors, with anodized aluminum or wood frames and sun shading devices

- Glass curtain walls or metal panels at key special features such as entry rotunda

### Public/Cultural Buildings - Exterior:

- Appropriate materials such as:
  - Terra cotta
  - Brick
  - Tile
  - Copper
  - Smooth troweled stucco in areas requiring less maintenance
  - Overhangs and sun shading devices for windows and skylights
- The following exterior materials are discouraged:
  - Imitation stone / veneer
  - Extensive wood siding
  - Heavily textured stucco
  - Adobe
  - Slump stone masonry
- Chain link fencing is prohibited unless fully hidden.

## D3. Roofs and Parapets

- Roofs in the Cultural District should employ contemporary forms that respond to the circle geometry. They should be well designed and treated as a fifth façade of the building.
- Flat or angled roofs should be encouraged. Pitched roofs of any slope ratio should be discouraged.
- Materials such as steel, aluminum, copper, tin, flat tile, and slate are encouraged on roofs visible from street level. Photovoltaic shingles are also an acceptable roofing material. Materials such as Spanish tile and asphalt shingles are discouraged.

- Roof penetrations (excluding architecturally treated skylights) should not be visible from street level.
- Eaves, where present, should overhang the façade by a minimum of 2 feet.
- Dormers should be used sparingly, and only to light habitable interior rooms.
- Gutters and downspouts should be made of galvanized steel, copper, or aluminum.
- Green roofs and habitable roofs are strongly encouraged.
- Green and habitable roofs design must consider access for installation, maintenance, and users.
- Views to and from habitable roofs should be considered. Habitable roofs should be discouraged near streets fronting residential areas outside of the Cultural District.
- Parapets are typically required to be of a three foot minimum height above finished roof level.
- Photovoltaic panels should be encouraged, and should be incorporated into the overall design of the roof.
- All mechanical equipment should be screened so as not to be visible from street level.

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# 4

## HISTORIC DISTRICT DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

### 4.1 Public Realm

#### A. Main Street Reconfiguration

The Downtown Master Plan proposes reconfiguring Main Street to replace the existing diagonal parking with parallel parking. The existing trees would remain in their current location while pavement width would be narrowed, the sidewalk width expanded, and permeable paving would be added along the curb for parallel parking.

One of the main objectives of the proposed Main Street reconfiguration to parallel parking in the Downtown Master Plan is to widen the sidewalks from 11' to 15', into the current diagonal parking area and within the current easement to allow expanded room for outdoor dining. **Figure 4-1** shows a 10' dining space adjacent to the building façade, which offers enough room to accommodate two rows of tables plus a 7' clear pedestrian path and a 4' strip for street lighting, trash receptacles, bike racks, other pedestrian amenities, and planting adjacent to the curb.



**Figure 4-1:**  
10' dining space adjacent to sidewalk

#### B. Outdoor dining

Currently the historic portion of Main Street provides several opportunities for outdoor dining in the expanded sidewalks at some corners, as well as next to the building's façade. However, due to the sidewalk width, it is only possible to accommodate one row of tables per storefront along the sidewalk.



**Figure 4-2:**  
Existing outdoor dining spaces along Main Street in the Historic District

In the short term, until a Parking Structure has been constructed, a few parking spaces can be replaced by temporary removable platforms for expanded outdoor dining near a restaurant (**Figure 4-3**). These platforms would be provided by the business owner according to City standards with an approved City permit.



Existing diagonal parking



**Figure 4-3:**  
Proposed temporary outdoor dining spaces along Main Street in the Historic District

- Patios should be incorporated into the design of new developments or by the replacement of existing surface parking to provide a desirable amenity as interface between the public and the private realms that expands opportunities for outdoor dining space.



- Expanded outdoor dining should also be accomplished by the utilization of recessed storefronts, several of which are currently vacant or underutilized along Main Street. These areas should provide a partially enclosed dining environment.



- Partially enclosed dining areas may be combined with outdoor dining areas in the public-right-of-way and should be defined by enclosures in an establishment that serves food and beverage.
- The height of any enclosure at the edge of or in the public right-of-way shall not exceed three (3) feet.
- Partially enclosed dining areas shall be handicapped accessible.
- Open metal railing are preferred as outdoor dining enclosures. The design shall be compatible with the character of the Historic District. Canvas is not acceptable material for enclosures.
- Signs and planters shall not be attached or hung from outdoor dining enclosures.
- Landscaping in planters shall be incorporated in the design of the semi-outdoor areas. Planters may be used as railings or portions of railings, if plant materials and planters do not exceed four (4) feet in height.



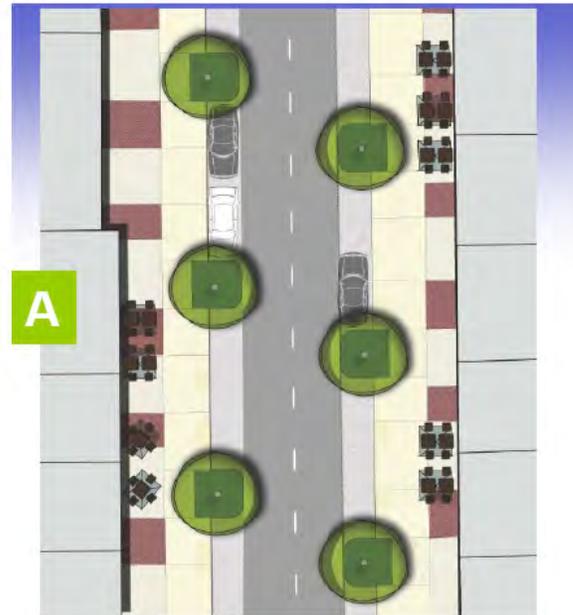
*Refer to Chapter 2 Section E4 for further general guidelines for outdoor dining enclosures.*

### C. Main Street Plans and Cross-sections

#### Alternative A:

The Downtown Master Plan recommends reconfiguring Main Street as shown in Figures 4-5 and 4-6.

- Parallel parking should replace existing diagonal parking.
- Curbs should be reconfigured and sidewalks should be widened from current 11' to 15', adding 4' to the current easement to allow expanded room for outdoor dining.
- Existing trees should be retained in tree wells planted with drought tolerant plants and flowering accent planting.
- Existing brick paving should be retained with additional integrated paving pattern on expanded sidewalk.
- New street lights and street furniture that keep the historic character should be added. (see section 4-1D)
- LED mini-lights should be introduced into street trees.



**Figure 4-5:**  
Illustrative plan of reconfigured Main Street (Alternative A)

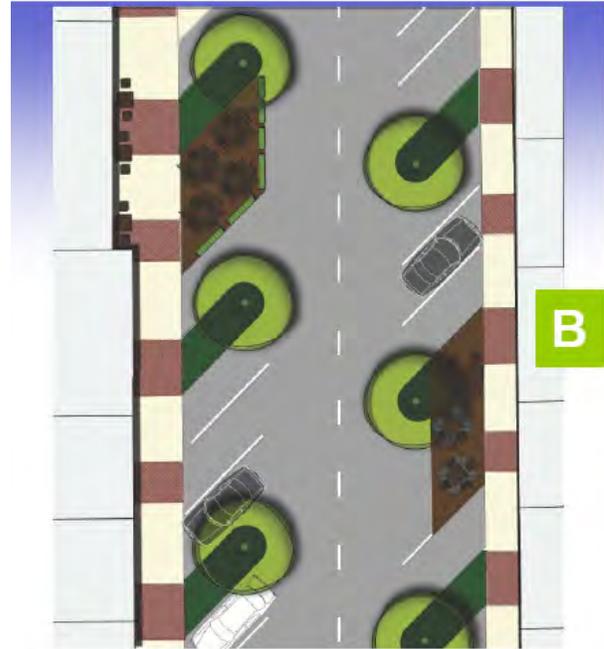


**Figure 4-6:**  
Illustrative cross-section of reconfigured Main Street (Alternative A)

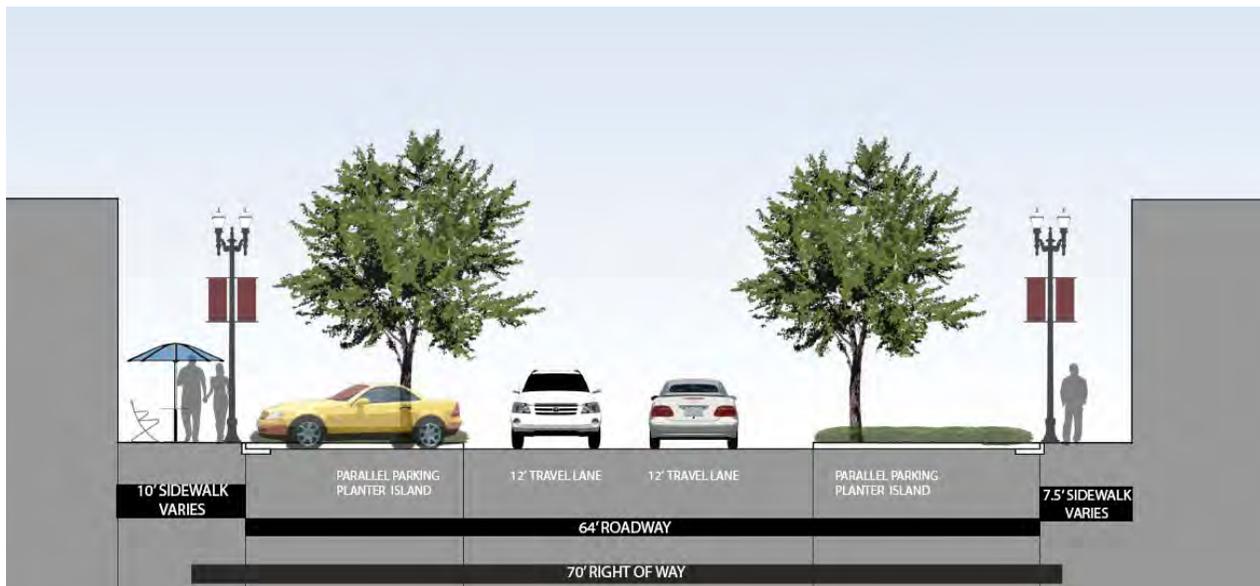
## Alternative B:

This “Key to Downtown” Implementation Plan recommends preserving the existing configuration as a short term solution for expanding outdoor dining as shown in **Figures 4-7 and 4-8**.

- Existing curb and pop-outs should be retained.
- Existing landscaping should be retained
- Existing benches, lights, and waste receptacles should be retained (see section 4.1D).
- Existing brick and concrete sidewalk paving should be retained.
- Existing bollards should be replaced by new “Annapolis” bollards (see section 4.1D).
- LED mini-lights should be introduced into street trees.
- Existing free standing pots should be replaced with new contemporary precast pots (see section 4.1D).
- A few parking spaces should be replaced by temporary outdoor dining areas in front of restaurants. (see section 4.1B)



**Figure 4-7:**  
**Illustrative plan of short term Main Street configuration**



**Figure 4-8:**  
**Illustrative cross-section of existing Main Street (Alternative B)**

#### D. Street Furniture and Lighting

Recommended Street Furniture palettes for the Historic District are:

**Alternative A:  
Reconfigured Main Street plus Green  
and Civic Streets**  
(Downtown Master Plan)

At the time of Main Street reconfiguration, a new palette of off-the shelf street furniture could be introduced that adds a contemporary look to Main Street without compromising its historic character. Alternatively existing street furniture

could remain on Main Street. Such a palette shown in **Figure 4-9** should be used in other streets in the Historic District.

Street Lights:

- LUMEC "Callisto" series with double lamp on Great Streets
- LUMEC "Callisto series with single lamp on Green and Civic Streets
- LUMEC bollards
- LED mini-lights should be introduced into trees along Main Street

Benches, trash receptacles and bike racks

- Landscape Forms "Village Green" series



**Figure 4-9:**  
Street furniture palette for reconfigured Main Street, Great, Green and Civic Streets in the Historic District

**Alternative B:  
Existing Main Street**

In the short term, before Main Street reconfiguration, the existing street furniture palette including street lighting, benches and trash receptacles should be maintained as shown in Figure 4-10. Existing bollards should be replaced by “Annapolis” series and LED mini lights should be introduced into street trees.

Existing planters in seating areas could be replaced by a contemporary version that creates a fresh look while keeping the historic character of Main Street.



**Figure 4-10:**  
Street furniture palette for existing Main Street in the Historic District

## 4.2 Private Realm

The Downtown Master Plan highlights the historic character of this district as a priority. The Downtown Master Plan recommends that the historic character and scale of Downtown Lake Elsinore be preserved and standards and guidelines designed to assure harmonious integration and transition between the old and the new.

The Downtown Master Plan recommends that any major renovation or retrofit of existing buildings in the Historic District shall include the development of air rights above for up to two (2) floors (residential or commercial uses) as activators on the street.

### A. Historic Elsinore Architectural Design Standards

The Historic Elsinore Architectural Design Standards is the current reference for development and construction regulations in the Private Realm within the boundaries of the General Plan's Historic District. The Historic Elsinore Architectural Design Standards (HEADS) was adopted by City Council on April 27, 1993 and Amended on June 14, 1994, to insure that future development is compatible with existing developments and provide a framework for the renovation of buildings which already exist.

Once adopted, this Draft "Key to Downtown" Implementation Plan will supersede the Historic Elsinore Architectural Design Standards. Most of the standards of HEADS have been incorporated into this document. Appendix A compiles the chapters from HEADS that remain relevant after the adoption of the Master Plan and this Implementation Plan and therefore should be retained.

### B. Gateway Buildings

Downtown Lake Elsinore has a unique identity that has been preserved through many different styles of historic buildings. These buildings provide the historic landmarks for the Project Area as gateway opportunities along Main Street and Graham Avenue.



- The Historic Armory Building shall be preserved within the proposed Main Street Circle in the Cultural District and be utilized primarily as a civic use such as a museum or tourist information office.



- The existing Cultural Center shall be preserved, renovated and enhanced as the center for cultural activities. In addition, it should serve as a gateway landmark to the Historic District.



- The building at the corner of Main Street and Prospect should be preserved and the existing adjacent parking lot turned into a pocket park.



- At the intersection of Graham Avenue and Spring Street, the Historic Train Station (currently the home of the Lake Elsinore Chamber of Commerce), and the Historic Chimes Bathhouse shall be preserved and enhanced by gateway treatments such as special lighting, landscaping, special crosswalks and signage.

### C. Historic Main Street

One of the best assets in the City of Lake Elsinore is its well-maintained historic Main Street. The existing commercial core of Main Street, running roughly between Heald Avenue and Prospect Street, is where the historic character of downtown is most visible. The six-block ( $\frac{3}{4}$  mile) long street is lined on both sides by mostly one-story buildings dating back to the 1920's. In the 1980s the Riverside County Historic Commission designated Historic Downtown as a local historic district. The Riverside County General Plan lists it as significant historic resource.

The historic blocks were enhanced by improvements within the public right-of-way in 1989. They included narrowing the roadway to accommodate diagonal on-street parking on both sides of the street, interspersed with landscaped islands containing sycamore and magnolia trees. Well maintained benches, pedestrian lighting, patterned brick sidewalks and crosswalks, and outside dining tables contribute to the pleasant small town atmosphere.

The Downtown Master Plan recommends that:

- Maximum allowable height along Main Street in the Historic District shall not exceed 3 stories or 45 feet.
- The existing pedestrian scale and historic character of Main Street between Heald Avenue and Prospect Avenues should be preserved and enhanced when renovating existing structures or adding new development as shown in **Figure 4-11**.

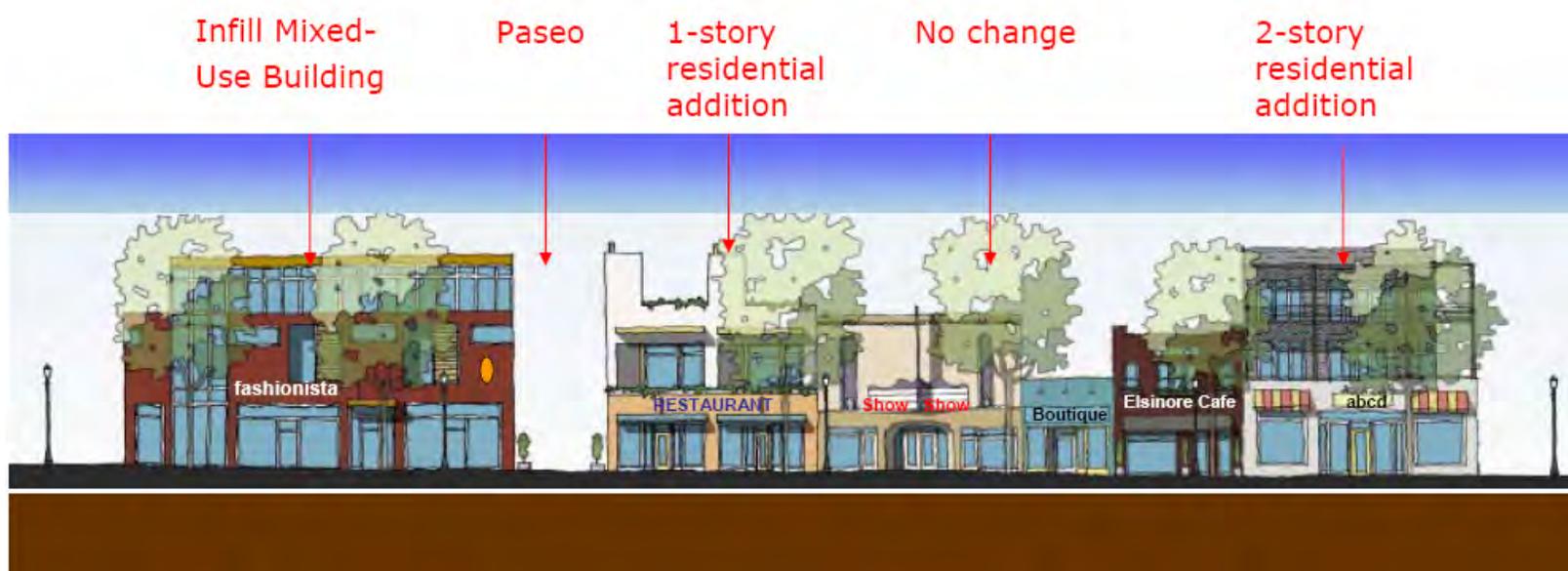


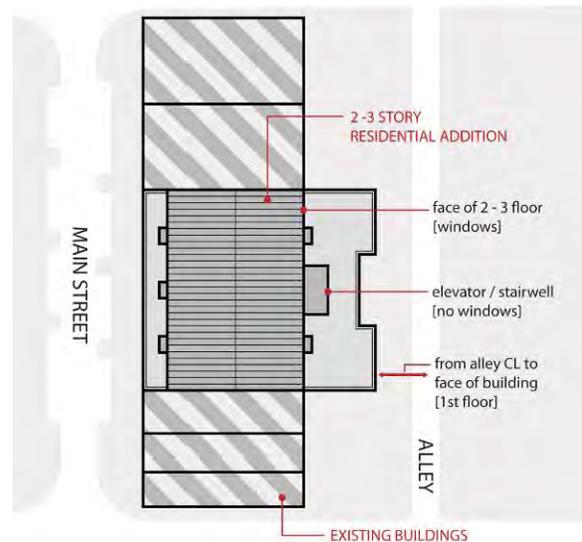
Figure 4-11:  
Existing façade of Main Street westside and illustrative elevation with infill and new development

## D. Infill Development

Infill Development in the Historic District is meant to complement and energize existing retail uses and to activate the Historic District at all hours of day and night by adding a residential component. The "Downtown Master Plan proposes the addition of up to two levels above the ground for residential use at the time of earthquake retrofit of existing buildings.

- Infill buildings and additions in the Historic District should be designed to be compatible in scale, and massing with existing structures.
- New construction and additions along Main Street may incorporate a contemporary architectural palette such as contrasting building materials, textures, and accent colors.
- Infill development should be aligned with existing buildings on the ground level in order to enhance and maintain the area's existing pedestrian character.
- Whenever existing buildings are upgraded for earthquake safety, additional levels may be built for residential use.
- Second and third floor additions to existing one or two story buildings shall step back from the original façade. (**Figure 4-12**)

Refer to **Table 1** for detailed standards.



**Figure 4-12:**  
Example of residential addition to existing retail building

## E. New Development

The Downtown Master Plan proposes a surface parking lot surrounded by commercial buildings in the two blocks located between Main Street, Spring Street, Graham Avenue and Sulphur Street. In the Master Plan, Sulphur Street is closed and is incorporated into the surface parking. However, due to a significant grade change from Main Street down to Spring Street, this “Key to Downtown” Master Plan proposes as an option new blockwide development that incorporates mixed-use retail and residential buildings besides parking in the lower level. **Figure 4-13** shows an illustrative plan and cross-section of this option for the block between Graham Avenue, and Sulphur Street where Sulphur Street remains open for vehicular traffic and entrance to parking.

The General Plan specifies General Commercial with 0.4 FAR zoning for these blocks and therefore a special bonus or variance should be considered to allow for this option of blockwide development that incorporates mixed-use residential uses.

- Part of the sloping terrain should be utilized to add a parking deck on the lower level off Spring Street with additional access from Sulphur Street
- A bonus FAR could be utilized as incentive for the inclusion of mixed-use retail and residential buildings.
- Public courtyards and paseos connecting courtyards to Main Street should be incorporated into the design to allow for internal connectivity and added public spaces.



- Courtyards should be activated with fountains, seating areas, special pedestrian lights, and landscaping.
- Paseos should incorporate main entrances to businesses, lighting, canopies and shop windows to avoid long corridors and blank walls.



- Stairs, elevators and escalators as well as ADA ramps should be designed to incorporate visual interest, access to views and observation decks or balconies on upper levels.
- Small surface parking lots may be retained and screened from public views to allow service to existing businesses located on Main Street.

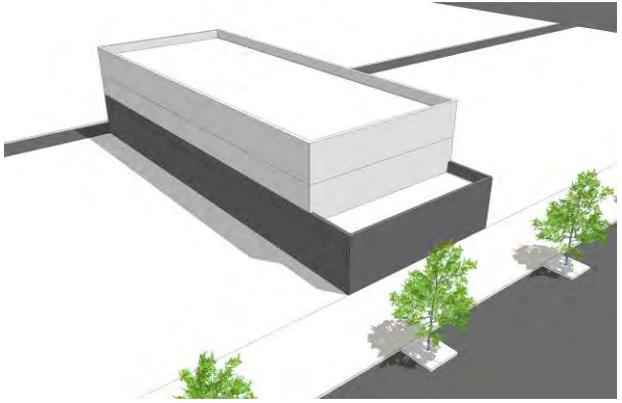
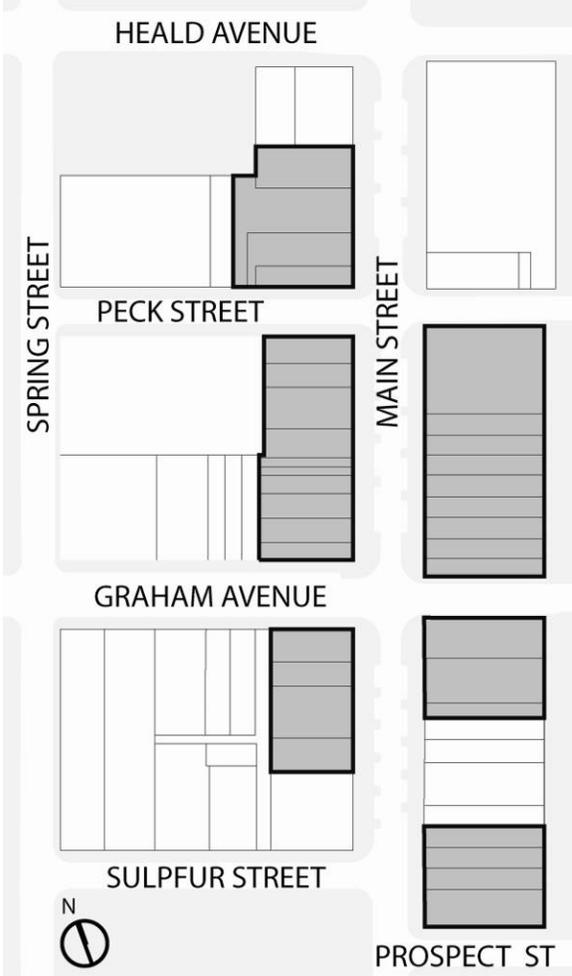
**Table 4-1: Development Standards in the Historic District**

|  | <b>Land Use Zone</b>   | <b>Building Type FAR</b>   | <b>Build to Line (feet)</b>  | <b>Max Height(feet)</b>                                | <b>Setbacks</b>                     | <b>Residential Density</b> | <b>Parking</b>   |
|--|--|--|--|--|-------------------------------------|----------------------------|--|
| 2009 Draft Downtown Master Plan<br><br>Downtown Code | Mixed-Use Commercial*<br><br>See Downtown Code for allowable uses.<br><br>*A minimum of 50% of total building area must be commercial development. | Mixed Use Commercial: 0.8 + 20% bonus for exceptional architecture | Mixed-Use Commercial:<br><br>20' (Main Street)<br><br>Varies (other streets) | 45' (adjacent to Main Street)<br><br>60' (other areas) | 0'; 15' adjacent to residential use | 7-18 du/acre               | Cultural:<br>TBD by parking analysis<br><br>Commercial:<br>5/1000 sq ft<br><br>Office:<br>3/1000 sq ft<br><br>Residential:<br>2 per unit<br><br>Project with 10+ residential units: 1 guest space per 10 units<br><br>Mixed use:<br>Sum of all specific use requirements within each land use.<br><br>However, with a shared parking analysis and a shared parking structure, the number of parking spaces may be reduced to reflect a more accurately derived parking demand. |

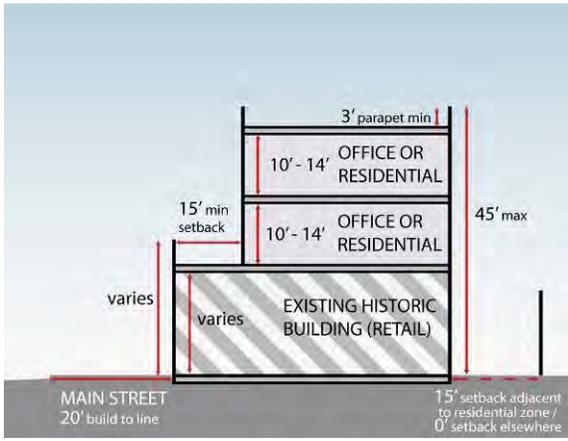
**Table 4-1 (continued)**

|   | <b>Land Use Zone</b>  | <b>Building Type FAR</b>   | <b>Build to Line (feet)</b>                            | <b>Max Height(feet)</b>                                       | <b>Setbacks</b>                            | <b>Residential Density</b> | <b>Parking</b>   |
|---|---|--|--|---|--|----------------------------|--|
| <p>2009 Draft Downtown Master Plan</p> <p>Downtown Code</p> | <p>General Commercial</p> <p>See Downtown Code for allowable uses.</p>    | <p>.4</p> <p>Propose to change this designation to Mixed-Use Commercial with an FAR of .8 + 20% bonus for exceptional architecture</p> | <p>20' (Main Street)</p> <p>Varies (other streets)</p> | <p>60'</p>  | <p>0'; 15' adjacent to residential use</p> | <p>n/a</p>                 | <p>Commercial: 5/1000 sq ft</p> <p>Office: 3/1000 sq ft</p> <p>Mixed use: Sum of all specific use requirements within each land use.</p> |
| <p>2009 Draft Downtown Master Plan</p> <p>Downtown Code</p> | <p>Public / Institutional</p> <p>See Downtown Code for allowable uses</p> | <p>.2</p>  | <p>20' (Main Street)</p> <p>Varies (other streets)</p> | <p>45' (adjacent to Main Street)</p> <p>60' (other areas)</p> | <p>Varies. See Downtown Code.</p>          | <p>n/a</p>                 | <p>To be determined per parking analysis.</p>  |

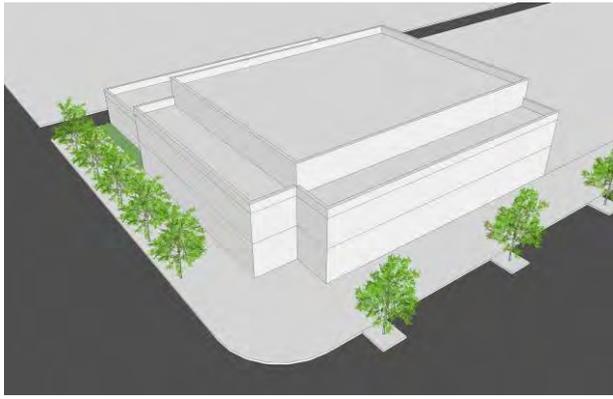
**Table 4-2**

| <b>1-2 Story Residential / Office over Existing 1-2 Story Retail</b>  |  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
|---|--|-------|----------------|------|---------------|-------|--------------|-------|----------------|-------|-----------------|-------|------------------|--------------|------------------------|------|------------------------------|------|--|-------|--|
| <ul style="list-style-type: none"> <li>• With seismic retrofit to current codes, allow 1-2 stories to be built atop existing retail buildings.</li> <li>• 2-3 floor addition may be built behind and/or next to existing historic retail building if space permits.</li> <li>• Allow up to three total floors of development, including existing.</li> <li>• Retail on ground floor along Main Street.</li> <li>• Residential and/or offices on upper floors.</li> <li>• Dedicated offsite parking at public lots or structures.</li> </ul>   | <p style="text-align: center;"><b>MASSING</b></p>  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| <p><u>Build to Line:</u></p> <table border="0"> <tr> <td>Main Street</td> <td style="text-align: right;">- 20'</td> </tr> <tr> <td>Spring Street*</td> <td style="text-align: right;">- 6'</td> </tr> <tr> <td>Heald Avenue*</td> <td style="text-align: right;">- 20'</td> </tr> <tr> <td>Peck Street*</td> <td style="text-align: right;">- 14'</td> </tr> <tr> <td>Graham Avenue*</td> <td style="text-align: right;">- 12'</td> </tr> <tr> <td>Sulphur Street*</td> <td style="text-align: right;">- 14'</td> </tr> <tr> <td>Prospect Street*</td> <td style="text-align: right;">- var. 5'-8'</td> </tr> </table> <p>*See cross sections</p> <p><u>Setbacks :</u></p> <table border="0"> <tr> <td>Service Alley or Paseo</td> <td style="text-align: right;">- 0'</td> </tr> <tr> <td>Side and Rear Property Lines</td> <td style="text-align: right;">- 0'</td> </tr> <tr> <td>Adjacent to Residential Uses (Inclusive of Alleys)</td> <td style="text-align: right;">- 15'</td> </tr> </table> <ul style="list-style-type: none"> <li>• Historic facades should be preserved and/or restored. Changes that will significantly alter historic facades should be discouraged.</li> <li>• Street façade of any new addition above ground floor should be stepped back a minimum of fifteen (15) feet from build to line.</li> <li>• Street façade of any new addition shall be built to no less than 75 percent of the property width.</li> <li>• Street façade of any new addition shall be composed as a simple plane with projections allowed within a maximum of eight (8) feet.</li> </ul> | Main Street  | - 20' | Spring Street* | - 6' | Heald Avenue* | - 20' | Peck Street* | - 14' | Graham Avenue* | - 12' | Sulphur Street* | - 14' | Prospect Street* | - var. 5'-8' | Service Alley or Paseo | - 0' | Side and Rear Property Lines | - 0' | Adjacent to Residential Uses (Inclusive of Alleys) | - 15' | <p style="text-align: center;"><b>PLAN</b></p>  |
| Main Street   | - 20'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Spring Street*  | - 6'   |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Heald Avenue*   | - 20'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Peck Street*  | - 14'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Graham Avenue*  | - 12'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Sulphur Street*   | - 14'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Prospect Street*  | - var. 5'-8'   |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Service Alley or Paseo  | - 0'   |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Side and Rear Property Lines  | - 0'   |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |
| Adjacent to Residential Uses (Inclusive of Alleys)  | - 15'  |       |                |      |               |       |              |       |                |       |                 |       |                  |              |                        |      |                              |      |  |       |  |

**Table 4-2 (continued)**

|   |   |
|---|---|
| <p>Height: maximum 45'</p> <ul style="list-style-type: none"> <li>The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>Existing nonconforming historic buildings should be grandfathered.</li> <li>Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> </ul> | <p><b>SECTION</b> (vertical scale exaggerated)</p>  <p>*all values are floor to floor heights unless otherwise noted.</p> |
|---|---|

**Table 4-3**

| <b>2-3 Story Retail / Residential / Office (New Development)</b>   |   |
|--|---|
| <ul style="list-style-type: none"> <li>Retail on ground floor at Main Street.</li> <li>Residential apartments and/or offices on upper floors.</li> <li>Parking shall be behind buildings and/or underground or partially underground. Parking areas projecting above grade are not permitted along Main Street. Parking should be screened from view of any public right of way.</li> <li>Entrances to parking shall not be permitted on Main Street.</li> <li>Residential units shall not be permitted at street level facing Main Street. Ground floor residential units facing other streets should have direct street access in addition to access from an interior corridor. Exceptions may be made for senior housing or group housing.</li> <li>Any part of a floor containing residential shall step back a minimum of fifteen (15) feet from the build-to line.</li> <li>Habitable roofs, green roofs, and/or articulated roofs should be encouraged.</li> <li>On large sites (sites fronting one whole block of Main Street), at least one pedestrian connection (paseo) linking Main Street and the interior of the block should be created.</li> </ul> | <p><b>MASSING</b></p>  |

**Table 4-3 (continued)**

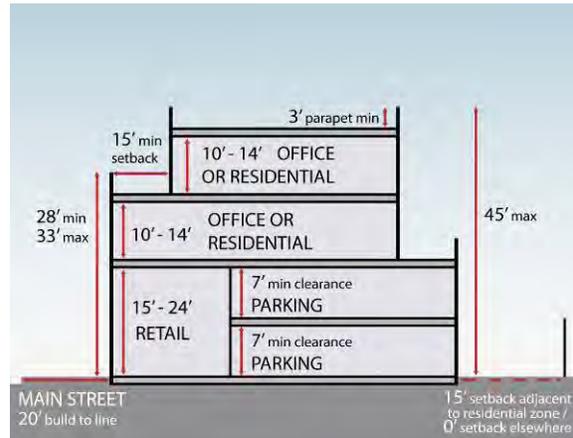
|  |  |
|--|--|
| <p>Build to Line:</p> <p>Main Street - 20'</p> <p>Spring Street - 6'</p> <p>Heald Avenue - 20'</p> <p>Peck Street - 14'</p> <p>Graham Avenue - 12'</p> <p>Sulphur Street - 14'</p> <p>Prospect Street - var. 5'-8'</p> <p>Setbacks :</p> <p>Service Alley or Paseo - 0'</p> <p>Side and Rear Property Lines - 0'</p> <p>Adjacent to Residential Uses - 15'</p> <ul style="list-style-type: none"> <li>Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet.</li> </ul> | <p style="text-align: center;"><b>PLAN</b></p> |
|--|--|

**Table 4-3 (continued)**

Height : maximum 45'

- The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.
- The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.
- The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.
- Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.
- Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.

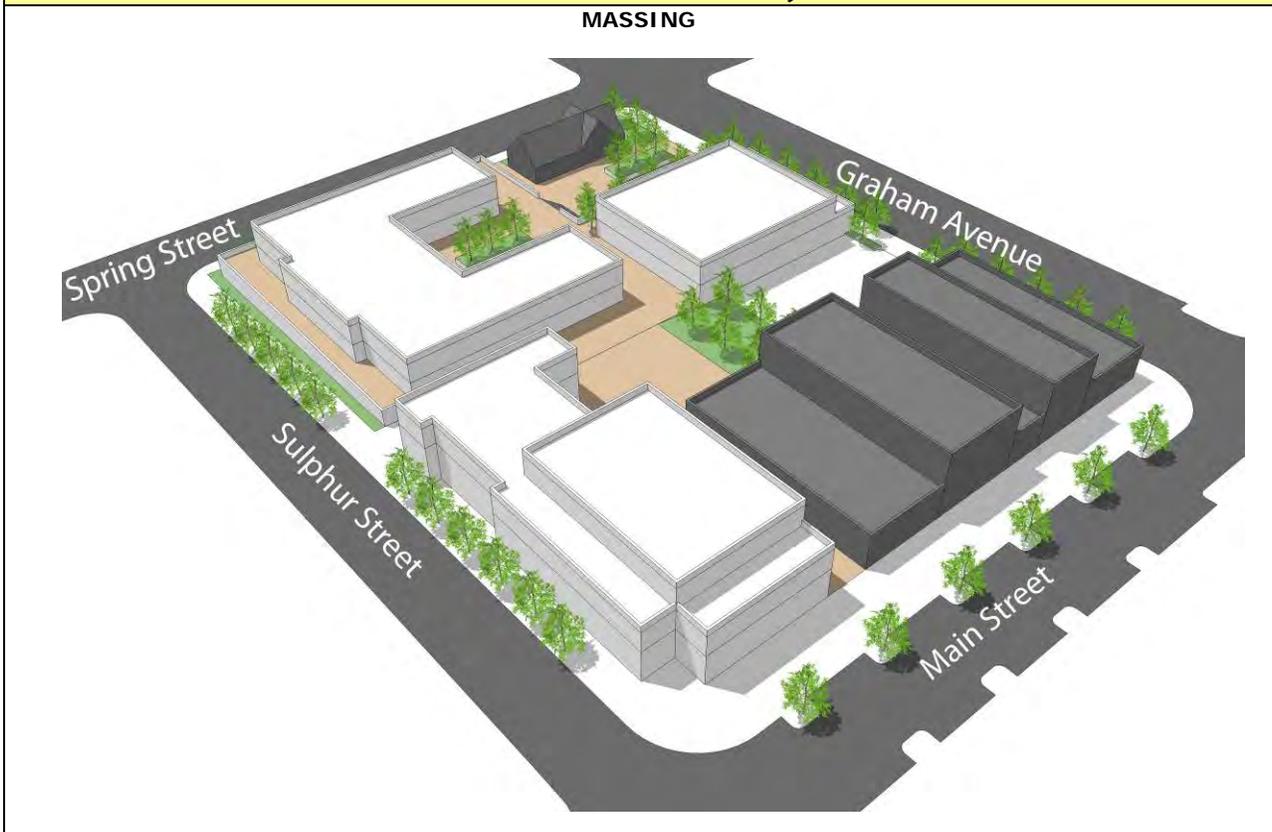
**SECTION** (vertical scale exaggerated)



\*all values are floor to floor heights unless otherwise noted.

Table 4-4

**2-3 Story Retail / Residential / Office (New Development – May Require Rezoning from General Commercial to Mixed-Use Commercial)**



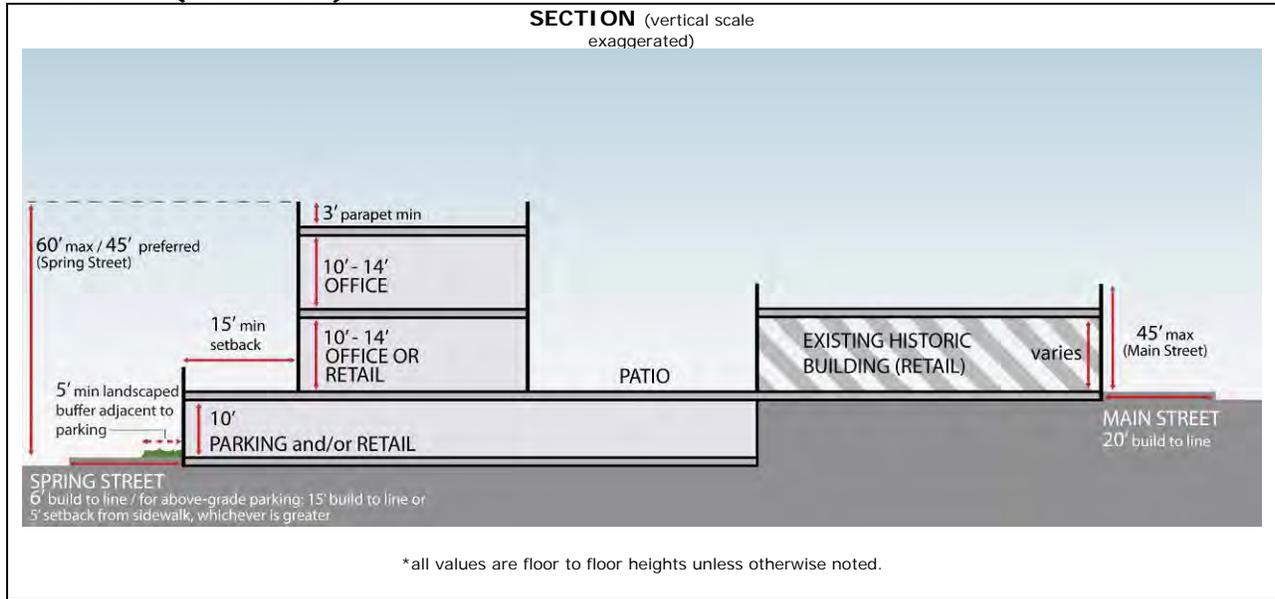
- Retail on ground floor at Main Street.
- Residential apartments and/or offices on upper floors.
- Parking shall be underground or partially underground. Parking areas projecting above grade are not permitted along Main Street. Parking should be screened from view of any public right of way. These condition shall be met to allow rezoning from General Commercial to Mixed-Use Commercial.
- Entrances to parking shall not be permitted on Main Street. Access to parking is preferred from Spring Street.
- Residential units shall not be permitted at street level facing Main Street. Ground floor residential units facing other streets should have direct street access in addition to access from an interior corridor. Exceptions may be made for senior housing or group housing.
- Any part of a floor containing residential shall step back a minimum of fifteen (15) feet from the build-to line.
- Habitable roofs, green roofs, and/or articulated roofs should be encouraged.

On large sites (sites fronting one whole block of Main Street), at least one pedestrian connection (paseo) linking Main Street and the interior of the block should be created.

**Table 4-4 (continued)**

|  |  |
|--|--|
| <p>Build to Line:</p> <p>Main Street - 20'</p> <p>Spring Street - 6'</p> <p>Heald Avenue - 20'</p> <p>Peck Street - 14'</p> <p>Graham Avenue - 12'</p> <p>Sulphur Street - 14'</p> <p>Prospect Street - var. 5'-8'</p> <p>Setbacks :</p> <p>Service Alley or Paseo - 0'</p> <p>Side and Rear Property Lines - 0'</p> <p>Adjacent to Residential Uses - 15'</p> <ul style="list-style-type: none"> <li>• Minimum 5' landscaped setback from the sidewalk along all sides of parking above grade or minimum 15' setback from curb, whichever is greater.</li> <li>• Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>• Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet.</li> </ul>   | <p style="text-align: center;"><b>PLAN</b></p> |
| <p><u>Height : maximum 45' (Main Street)</u></p> <ul style="list-style-type: none"> <li>• The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.</li> <li>• The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.</li> <li>• The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.</li> <li>• Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.</li> <li>• Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.</li> </ul> |  |

**Table 4-4 (continued)**

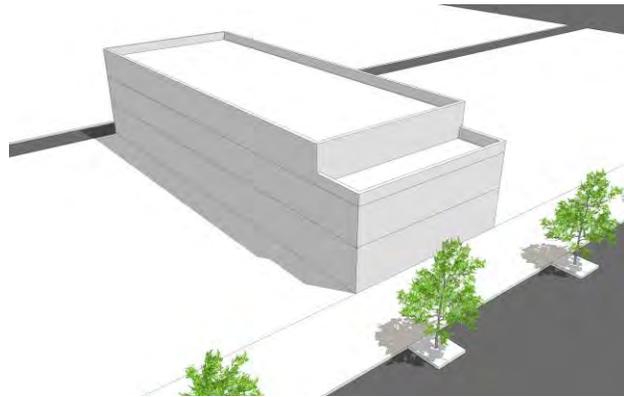


**Table 4-5**

**2-3 Story Retail / Office / Civic**

- Civic and/or retail uses on ground floor along Main Street, with offices and/or civic uses on upper floors.

**MASSING**



**Table 4-5 (continued)**

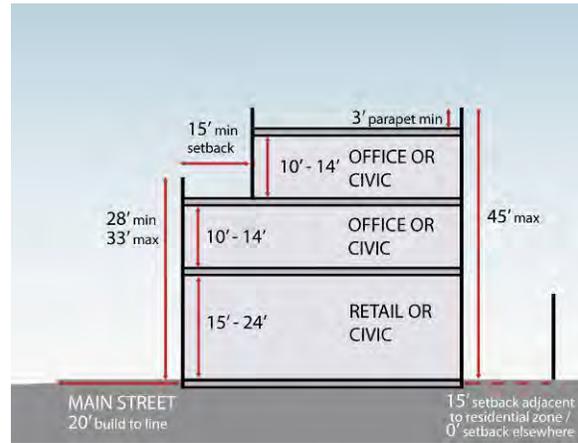
|  |  |
|--|--|
| <p><u>Build to Line:</u></p> <p>Main Street - 20'</p> <p>Spring Street - 6'</p> <p>Heald Avenue - 20'</p> <p>Peck Street - 14'</p> <p>Graham Avenue - 12'</p> <p>Sulphur Street - 14'</p> <p>Prospect Street - var. 5'-8'</p> <p><u>Setbacks :</u></p> <p>Service Alley or Paseo - 0'</p> <p>Side and Rear Property Lines - 0'</p> <p>Adjacent to Residential Uses - 15'</p> <ul style="list-style-type: none"> <li>• Minimum 5' landscaped setback from the sidewalk along all sides of parking above grade or minimum 15' setback from curb, whichever is greater.</li> <li>• Street façade shall be built to no less than 75 percent of the overall build-to-line. Ground floor portions within 7 feet of a corner are exempt to allow for special corner treatment.</li> <li>• Street façade shall be composed as a simple plane with projections allowed within a maximum of 8 feet.</li> </ul> | <p style="text-align: center;"><b>PLAN</b></p> |
|--|--|

**Table 4-5 (continued)**

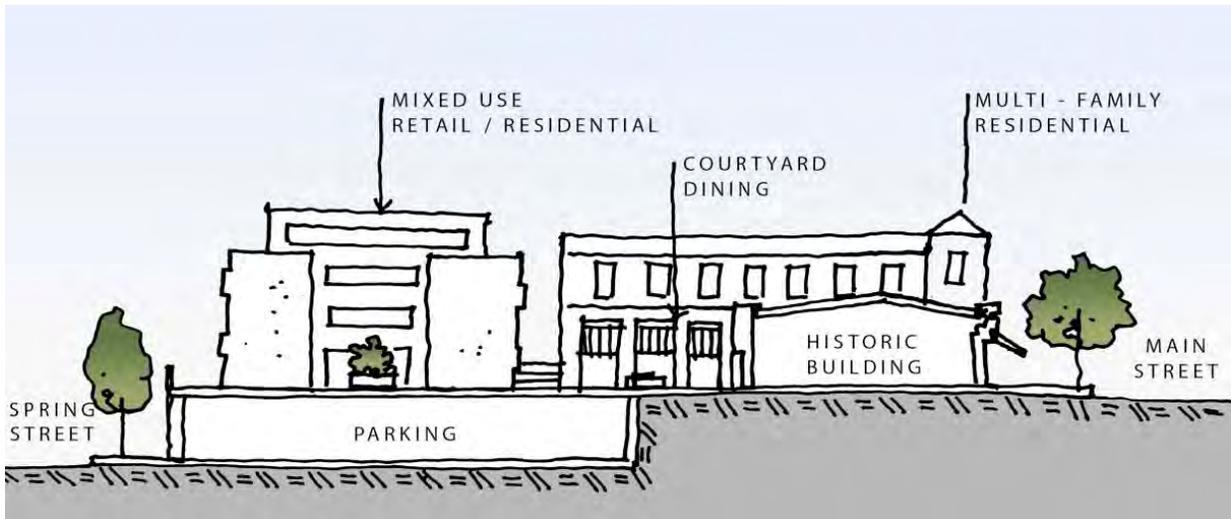
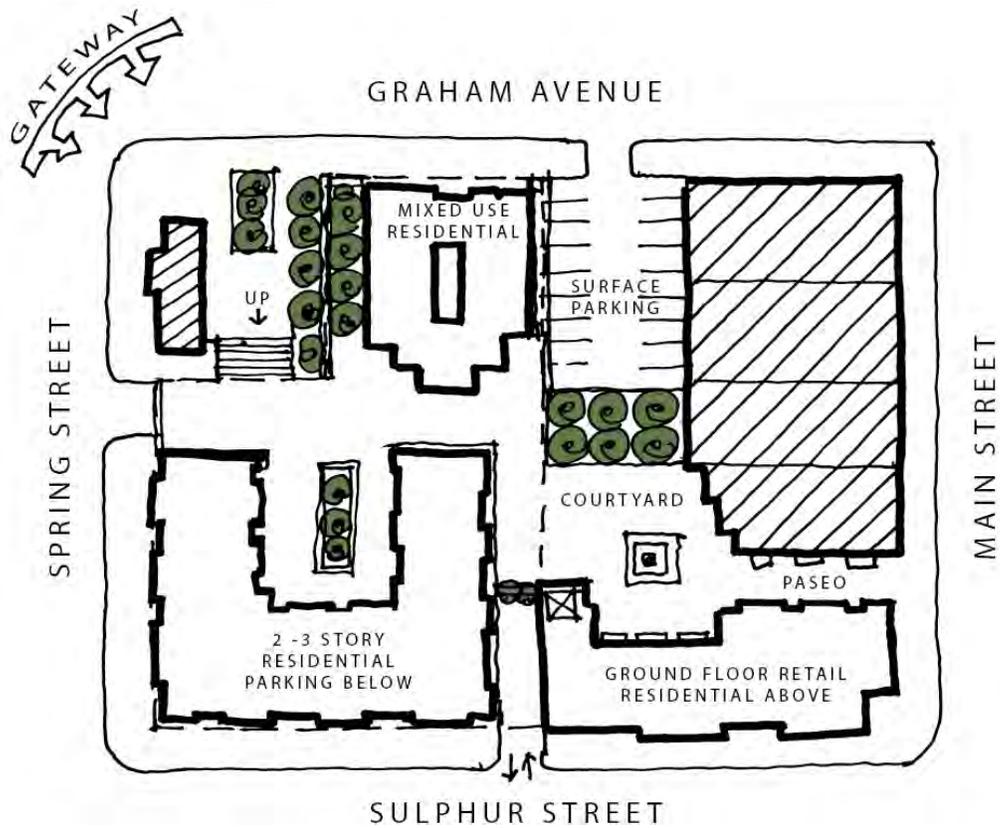
Height: maximum 60'

- The minimum height of the façade wall at build to line frontage along the Main Street Circle is 28 feet. The maximum height of the façade wall at build to line frontage along the Main Street Circle is 33 feet.
- The ground floor shall have at least 15 feet clear (floor to floor) height for at least 1/3 of its area contiguous to build-to-line frontage. The maximum floor-to-floor story height limit for the ground floor is 24 feet.
- The minimum floor-to-floor story height limit for upper stories is 10 feet. The maximum floor-to-floor story height limit for upper stories is 14 feet.
- Mezzanines greater than 1/3 of the floor area footprint shall be counted as full story.
- Above 33 feet the building should step back as shown in the section or another form of articulation should be used to reduce the building massing and add visual interest.

**SECTION** (vertical scale exaggerated)



\*all values are floor to floor heights unless otherwise noted.



**Figure 4-13:**  
**Illustrative plan and section of proposed blockwide mixed-use development in the Historic District**

## F. Architectural Theme, Standards and Guidelines

### F1. Architectural Theme

The architectural theme for the Historic District reflects the design characteristics and styles which were prevalent in the City from 1880 to 1930. Although some newer buildings add variety of style, most structures draw heavily from an identifiable style while incorporating influences derived from other styles.

The Historic Lake Elsinore Architectural Design Guidelines has identified the "1920'S Storefront" as the predominant architectural style and theme for the Historic District. The 1920's Storefront is typically a rectangular box, symmetrically subdivided into bays, with regularly spaced windows, a recessed entrance, decorated with classical details such as columns and pilasters, pediments, upper friezes, lentils, cornices, and ornamental mouldings.

- Where a notable example of the 1920's Storefront style exists, the original façade should be retained or restored to the greatest extent possible, preserving and enhancing the period character of the building and street.
- New development or infill development should keep the scale and the massing characteristics of the predominant style but may incorporate contemporary elements of other styles that do not compromise the overall character of the area.

**Figure 4-14** illustrates contemporary awnings of Raviolis Restaurant in Lake Elsinore which are compatible with the adjacent barber shop. It also illustrates some contemporary materials, scale, textures and accent colors which are

compatible with the character of the Historic District.

### F2. Existing Commercial Development

Much of the existing development along the major streets in the Historic District is already pedestrian-oriented, and specifically retail oriented along Main Street. For these buildings, the most beneficial improvements address the attractiveness of shops and the overall building.

- Pedestrian activities should be encouraged by providing views into shops, office and restaurants.
- For infill developments, the maximum height of window sills above sidewalk should be eighteen (18) inches along retail frontages.
- Maximum height above sidewalk that any retail glazing may be blocked with fixtures along any frontage should be four (4) feet from the exterior ground line.
- Shops should provide attractive window displays, avoiding clutter and storage of merchandise against windows.
- Unifying architectural elements should be installed along the building or series of buildings such as awnings or a single style of signage in order to establish a recognizable pattern of storefront design along the street.



**Awnings Materials Texture Colors Accent Signage Banners**



**Figure 4-14:**  
Examples of architectural treatment and features recommended in the Historic District

## 5.1 Public Realm

### A. Main Street Realignment

One of the main components of the Downtown Master Plan is the proposed realignment of Main Street to connect downtown to the Lake with a new pier. The existing City Park will be also be reconfigured to serve as an open civic space in front of the planned City Hall building.

**Figure 5-1** shows an illustrative rendering of the civic buildings proposed on both sides of Main Street at Limited Avenue intersection, which include a pedestrian bridge over Main Street. The

civic architecture and the pedestrian bridge will become a gateway to mark the transition between the Historic and Waterfront Districts.

At the Prospect Street intersection Main Street transitions from its historic character to a festive atmosphere of the Waterfront District. **Figures 5-2 and 5-3** show plans and cross-section of proposed configuration and streetscape for the realigned Main Street according to Downtown Master Plan recommendations.



**Figure 5-1:**  
**Illustrative Rendering of Civic Buildings**

*Source: Downtown Master Plan*



**Figure 5-2:**  
**Proposed Illustrative Plan of Main Street Configuration and Streetscape in the Waterfront District**  
 Source: Gruen Associates



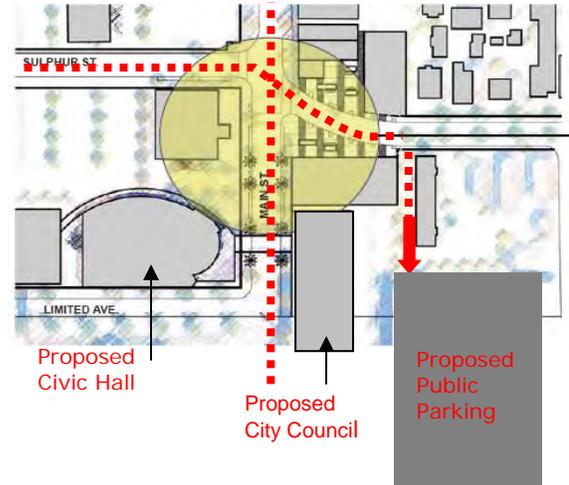
**Figure 5-3:**  
**Proposed Illustrative Cross-Section of Main Street Configuration and Streetscape in the Waterfront District**

## B. Sulphur and Prospect Streets

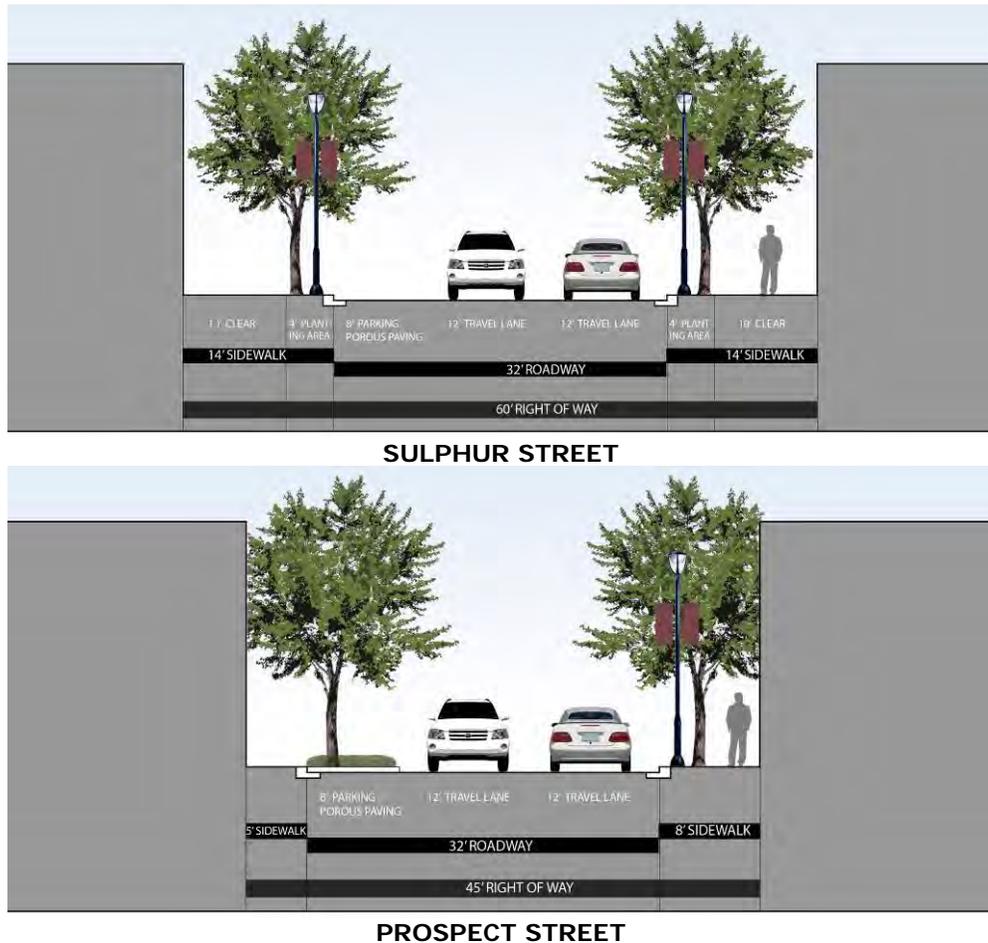
The Downtown Master Plan proposes that Sulphur Street be closed to through traffic and incorporates it into surface parking.

To improve connectivity to the proposed parking structure in the Waterfont District, this “Key to Downtown” Implementation Plan proposes an alternative scenario that keeps Sulphur Street open to traffic and connects it to Prospect Street as indicated in **Figure 5-4**.

**Figure 5-5** shows illustrative cross-sections of Sulphur and Prospect Streets.



**Figure 5-4:**  
Proposed Prospect Street Realignment



**Figure 5-5:**  
Proposed Sulphur and Prospect Streets Cross-Sections

### C. Pocket Parks, Paseos and Pedestrian Bridge

The placement of buildings and the proposed re-alignment of Prospect Street offer opportunity for the creation of a civic plaza, pocket parks and paseos linking the proposed parking structure to the civic buildings. (Figure 5-6)

The site plan proposes a civic plaza that includes :

- Integral color concrete bands
- Vibrant radial paving pattern
- Landscaped nodes with drought tolerant planting and sitting walls
- A fountain in front of the City Hall building with the words City of Lake Elsinore rising from the water

- A covered pedestrian bridge linking the two civic buildings located on both sides of Main Street



Figure 5-6:  
Illustrative Plan of Landscape concepts around proposed mixed-use civic and commercial building in the Waterfront District

## D. Street Furniture and Lighting

The Street Furniture palette in the the “Key to Downtown” portion of the Waterfront District should be similar to the contemporary palette proposed in the Cultural District but a few variations such a wood benches should reflect the waterfront character.

In order to facilitate maintenance and replacement, it is recommended that components from a single manufacturer

line be utilized for pedestrian lighting, trash receptacles, bollards, benches and bicycle racks and transit shelters. (Figure 5-7) Alternatively, compatible components from multiple manufacturers could be utilized. (Figure 5-8)



Figure 5-7  
Recommended: Single line / Landscape Forms “Metro 40” series or similar



Figure 5-8  
Option: Multiple lines / Lumec “Calisto” series and Landscape Forms Neoromantico

## 5.2 Private Realm

### A. Civic Uses

The new City Hall building proposed in the Downtown Master Plan is planned to be the cornerstone of the Waterfront District. The proposed program includes mixed-use buildings containing government offices and council chambers, a town square, retail space and a shared parking structure. A pedestrian bridge spans over Main Street connecting the civic uses in the second floor. **Figure 5-7** shows Guidelines for the proposed Civic Center per Downtown Master Plan.

### B. Infill Development / Redevelopment

The former hotel building (currently vacant) located at the corner of Main Street and Prospect Street is planned to be reused as or replaced with a mixed-use office building with retail uses on the ground floor and offices on the upper floors. Infill commercial development may also occur in the same block where the civic center is planned, along Spring Street or Sulphur Avenue.

#### GATEWAY TO THE LAKE

The rebirth of a downtown and celebration of a City on the Lake - A bold vision for a new mixed-use City Hall in Downtown Lake Elstere will be at the heart of this revitalization effort. "Main Street will be the new Civic Center."

**THE EGG:** A contemporary expression of a mid-century revival style dome will be a new civic marker and defined visual beacon at night. Independent of actual functions of City Hall, this covered civic plaza is open to the public and can serve as the location for hosting events.

**THE GLASS BOX:** Siting above retail and across the Main Street from the main City Hall building, floor to ceiling glass offers great views of the City Park and the Lake.

**WATER FEATURE:** A new fountain will be displayed in front of City Hall with words "The City of Lake Elstere" rising out of the water.

**PORTAL TO THE WATERFRONT DISTRICT:** A bridge will be the ceremonial link Council Chamber and the transition point from the Historic District to a vibrant Waterfront District.

**VIBRANT RETAIL GROUND FLOOR:** As part of this mixed-use City Hall will be a vibrant restaurants and retail uses on City Park.

**LET THERE BE LIGHT:** A glassless skylight on the roof of City Hall will allow for increased daylight, improving the comfort of occupants and visitors.

**SYMBOL OF SUSTAINABILITY:** City Hall will feature a green roof to provide such benefits as reduction of heat island and stormwater runoff and the creation of new habitat.

**SCREEN ON THE GREEN:** Isolated from activities below, a green roof lawn pool will utilize a blank wall on City Hall for showcasing murals.

**ART WALL:** An kinetic art panel will display a graphic image of the lake on City Park.

**CITY HALL - EXTENSION OF THE PARK:** A new pedestrian bridge will link City Park to "Screen on the Green" and City Hall. This will provide an elevated public realm for dramatic views of City Hall, City Park and Lake Elstere.



**Figure 5-6:**  
**Illustrative Rendering and Guidelines for the Proposed Civic Center in the Waterfront District**

Source: Downtown Master Plan

### 6.1 Library Placement Alternatives

This Chapter presents two alternative conceptual designs for a 25,000 SF Public Library originally planned to occupy the inner portion of the Main Street Circle proposed in the Downtown Master Plan. The alternative concepts in sections 6.2 and 6.3 are designed to follow, apply and illustrate the standards and guidelines presented in the Downtown Master Plan, in the Downtowncode and in Chapters 2 and 3 of this “Key to Downtown” Implementation Plan.

In Alternative A, the proposed 150’ radius of the inner circle in the Master Plan has been dimensioned to accommodate civic buildings such as a public library, a museum, and the historic Armory in the center of the circle.

In Alternative B, the public library serves as a gateway to the Cultural District at the corner of Main Street and Sumner Avenue, and the radius of the inner circle is reduced to 130’. The historic Armory building and a new museum remain within the Circle.

The selected alternative will depend on a variety of factors and additional analysis such as more detailed engineering, parcel ownership, grading, coordination with Riverside County as to the location of the library among other factors.



**Alternative A**  
Library within a 150’ radius Circle



**Alternative B**  
Library outside a 130’ radius Circle

**Figure 6-1:**  
Alternative Dimensions and Land Use for  
the Main Street Circle in the Cultural  
District

## 6.2 Library in the Circle

This concept for the library is the same as can be found in the Downtown Master Plan. The library is located on the west side of the pedestrian pathway cutting through the circle, and across from the historic Amory and proposed museum building located on the east side. Walking along Main Street in either direction, pedestrians will have a clear view past the library, armory, and museum towards the adjoining districts. These facilities are linked to the Cultural District via a pedestrian bridge crossing Main Street.

The two-story library, depicted in **Figures 6-2 through 6-9**, is designed with both transparency and sustainability in mind. The glass-clad main entrance opens up to a large lobby. Just beyond the lobby lies the main bookstacks and reading room.

An outdoor courtyard is situated at the center of the complex, which can be used as an outdoor reading room or for special events. The courtyard is visible from the interior through the glass walls which line its perimeter, which also allow natural sunlight to pour into the library. The children's section is located upstairs and has a view looking north along Main Street. This section also has its own information desk, restrooms, reading theater, and courtyard access, and is illuminated by a large skylight. The exterior of the library is clad with a variety of durable materials, including terra cotta for the ground floor walls, ceramic tile for the second floor walls, and Ipe wood slats as a shading device for glazing throughout the building, consistent with the guidelines in the Key to Downtown.



Figure 6-2: Bird's Eye View looking Southwest

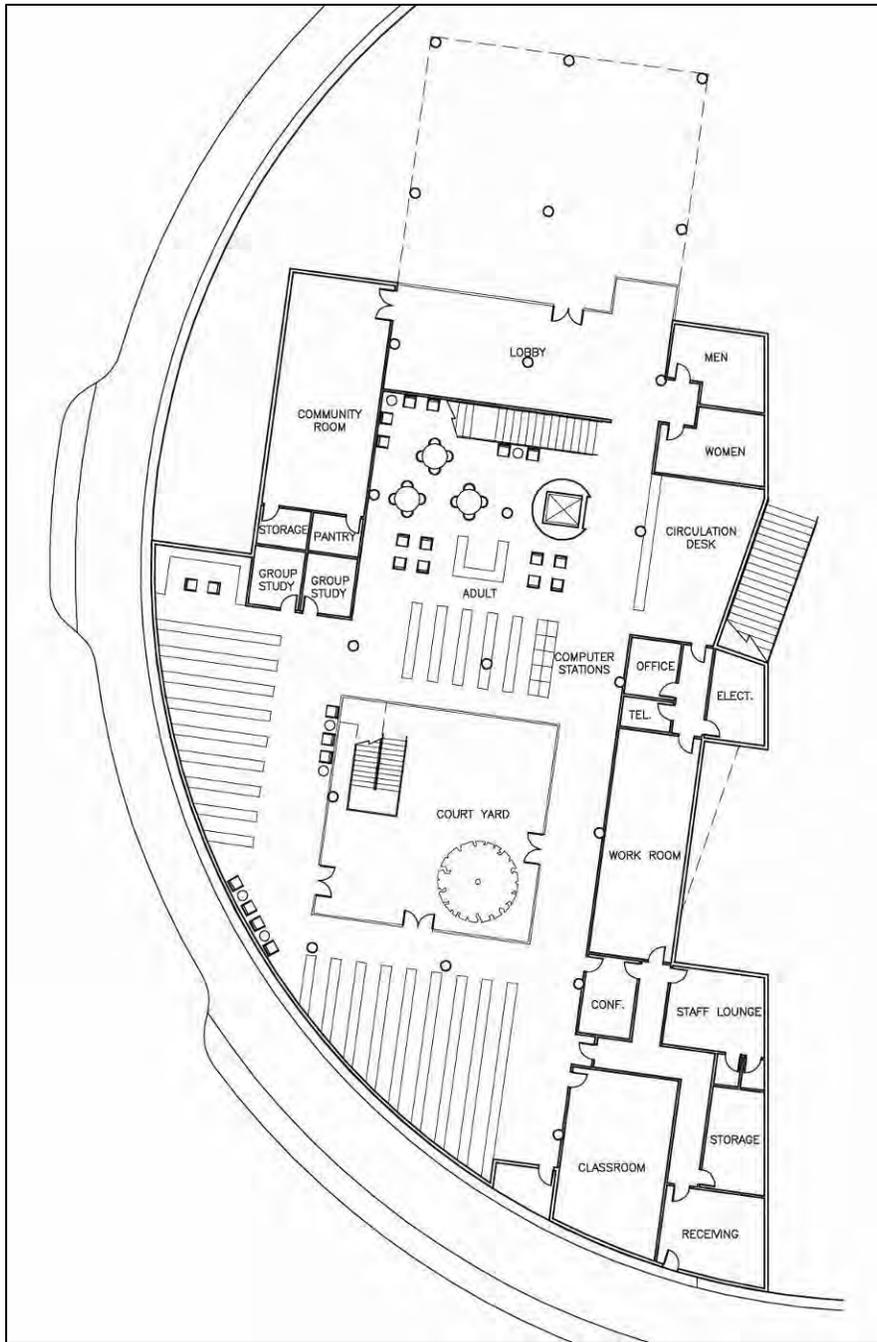


Figure 6-3: Ground Floor Plan

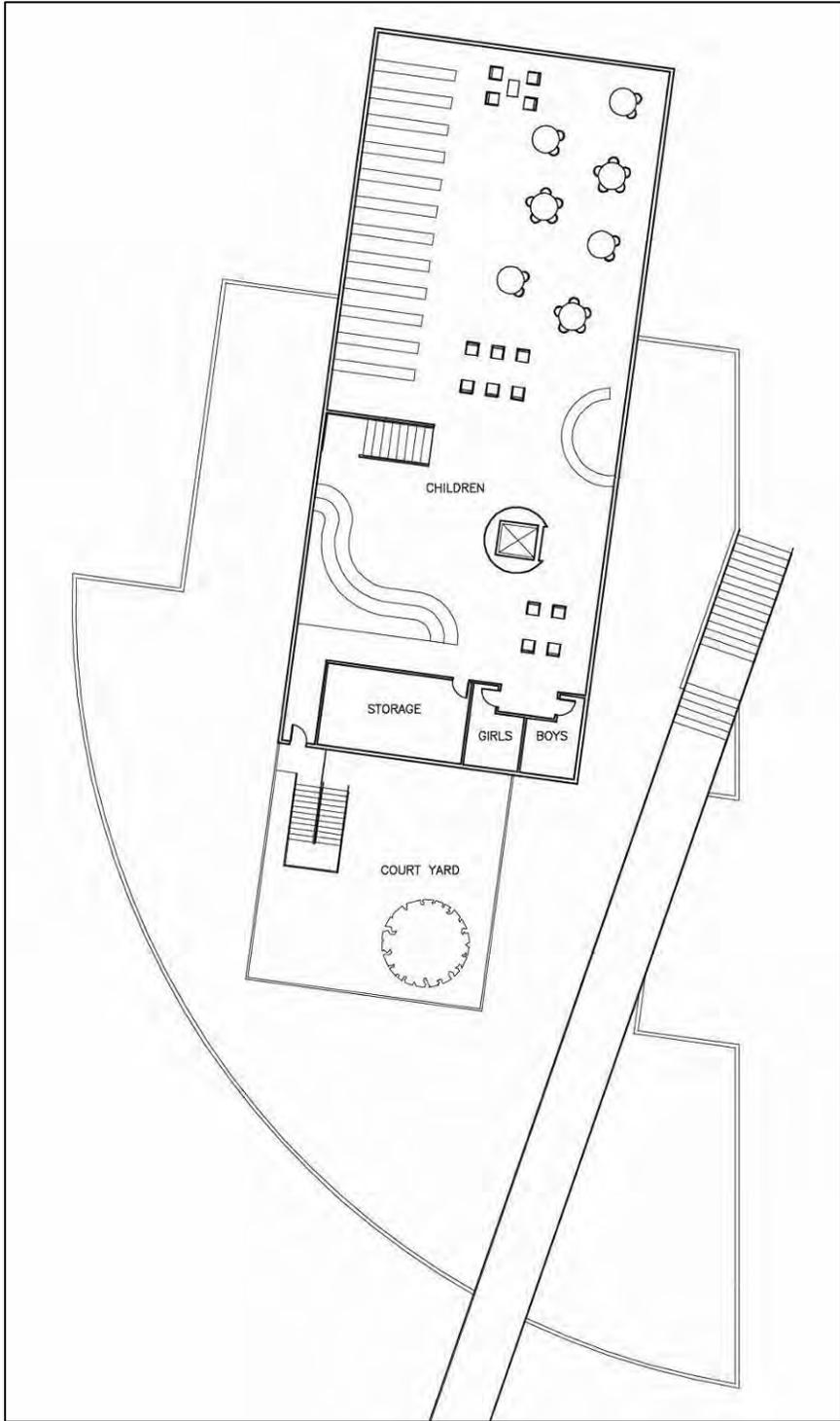


Figure 6-4: Second Floor Plan

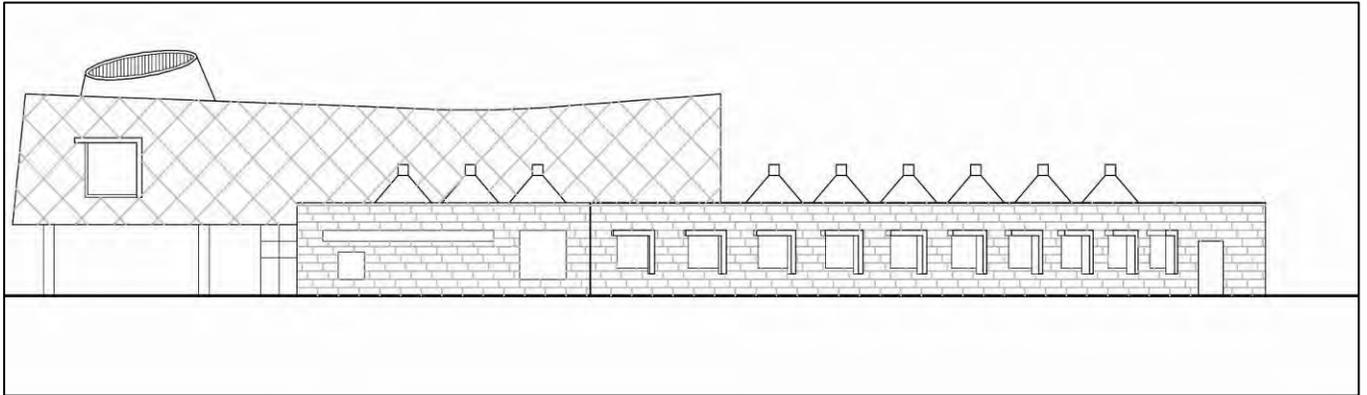


Figure 6-5: West Elevation

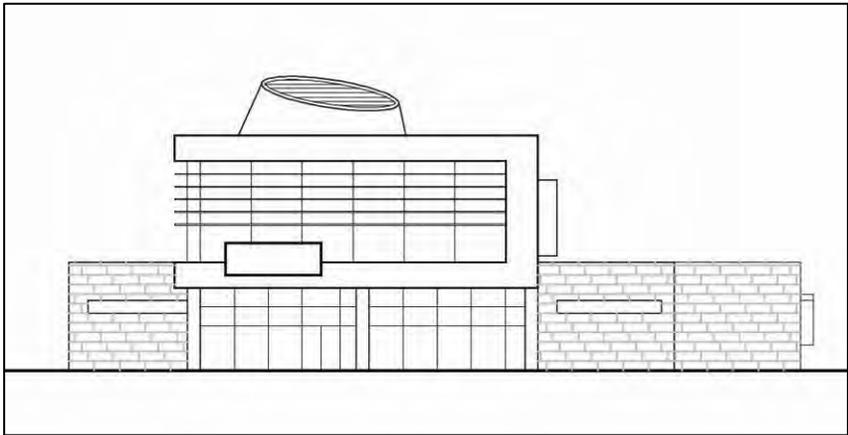


Figure 6-6: North Elevation



Figure 6-7: Street View looking South



Figure 6-8: Street View looking Southeast from corner of Main St. and West Franklin St.



Figure 6-9: Bird's Eye View Looking Northwest

### 6.3 Library outside the Circle

This concept for the mixed-use library complex depicted in **Figures 6-10 through 6-18** is also designed with transparency and sustainability in mind. It is located just northwest of the new civic plaza and includes a library, ground level restaurant space with outdoor dining area, ground level retail space, and office suites on the second and third levels. The main entrance is located within a three-story rotunda clad with ceramic tile, and houses a generous naturally-lit lobby. This rotunda mimics the rotunda proposed for the new city hall in the Waterfront District, which will be visible in the distance when looking south along Main Street. An outdoor courtyard is located just beyond the lobby, surrounded by glass so that it

is easily visible to patrons and allowing natural light to penetrate into the interior of the building. The courtyard can be used as an outdoor reading room or for special events. The library administrative offices are located in the wing located to the north of the courtyard, while the reading rooms and bookstacks are located in the larger south wing. The three-story façade of the complex facing the Main Street circle is faced with glass and Ipe wood slats, which function as shading devices for the glazing. The walls on the other elevations are faced with terra cotta panels. The top floor boasts a second outdoor courtyard that serves the office suites which overlook Main Street and the proposed civic plaza.



Figure 6-10: Bird's Eye View looking Northwest

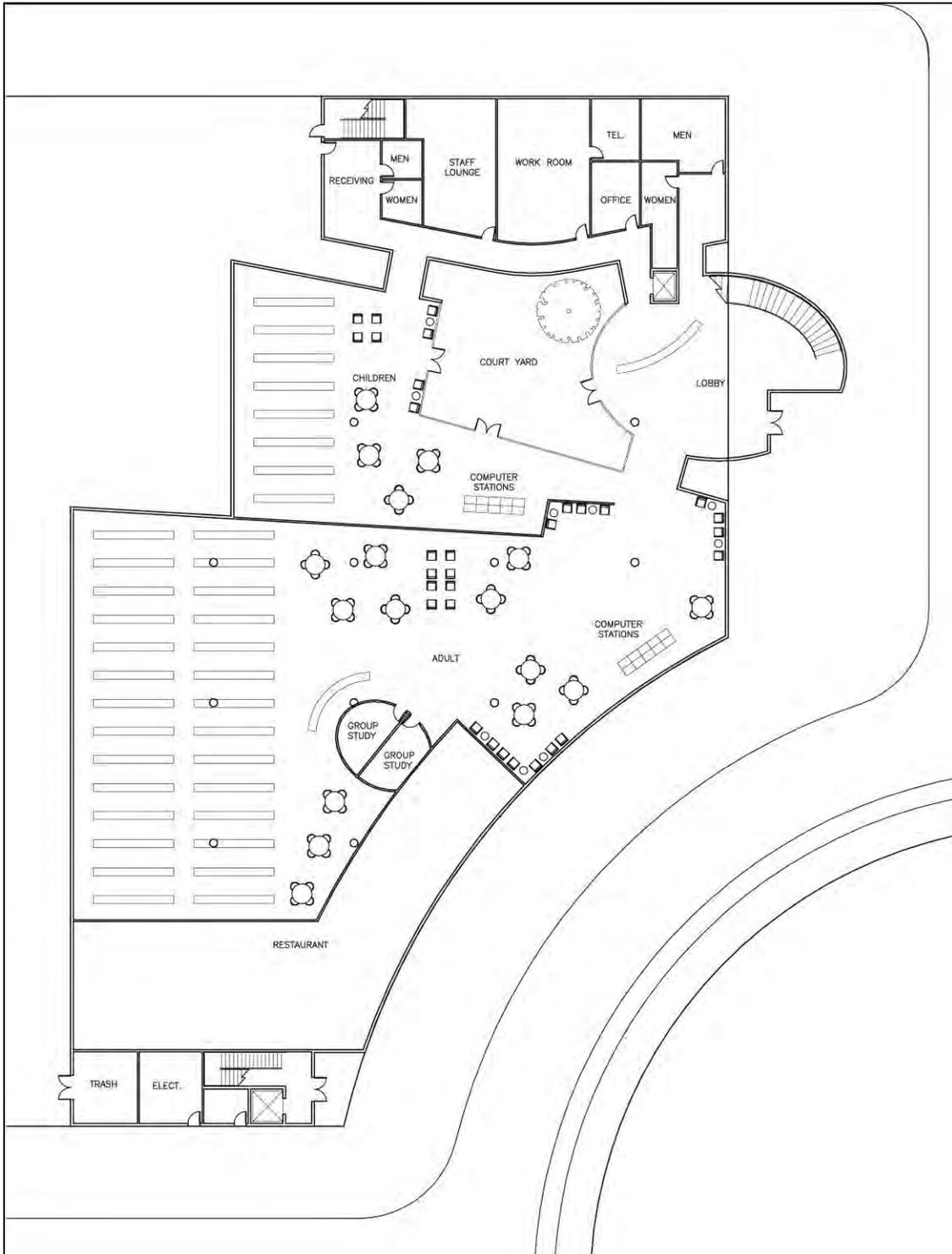


Figure 6-11: Ground Floor Plan

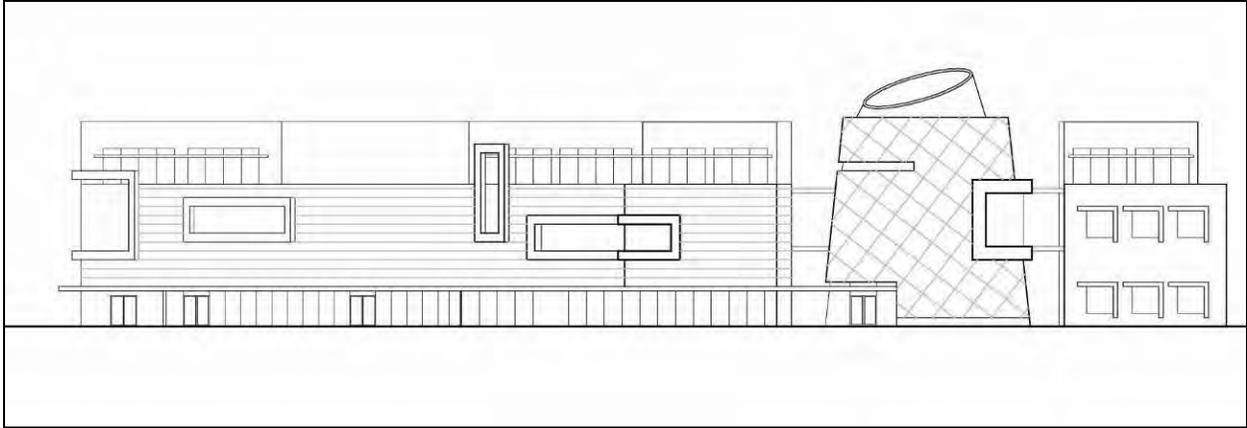


Figure 6-12: East Elevation



Figure 6-13: Street View from Circle looking North



Figure 6-14: Street View from Circle looking West



Figure 6-15: Street View looking West



Figure 6-16: Street View looking South to Circle



Figure 6-17: Street View looking West towards Main Entrance



Figure 6-18: Bird's Eye looking South

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# Appendix A

## "KEY TO DOWNTOWN" COMMUNITY WORKSHOP

### A.1 Community Workshop

The following memo documents the community workshop held on April 17, 2010, as well as the verbal commentary received from the community in regards to the Key to Downtown design concepts.

## Community Commentary

### Key to Downtown Implementation Plan Community Meeting

Lake Elsinore, CA

April 17, 2010

**Matt Harris** of the City of Lake Elsinore introduced the consultant team for the Key to Downtown Implementation Plan. **Elaine Carbrey** of Gruen Associates welcomed the community, discussed that the project was funded by SCAG under the Compass Blueprint Program and indicated that Gruen Associates was here to prepare design guidelines and standards to implement the Key to Downtown portion of the Draft Downtown Master Plan. Today's meeting is to obtain input, several alternatives for the public realm, private realm and civic architecture. **Maria Rosario** of Gruen Associates made a PowerPoint presentation to the community.

#### KEY POINTS FROM THE PRESENTATION

Maria Rosario presented some alternative scenarios and concepts for the three districts in the "Key to Downtown" area, namely, the Cultural, the Historic and the Waterfront District. In her presentation she explained that these concepts were developed to further detail the concepts in the Downtown Master Plan. However, in the Cultural District, due the removal of the Performing Arts Center from the original program, Gruen developed two additional alternative concepts for the development of the Circle besides the original concept in the Master Plan.

One of them, called The Object in the Green, keeps the Armory Building and places the library at the center of the circle keeping its original 150' radius. The other, places the library at the northwest quadrant of the Cultural District, as a gateway, occupying the space previously occupied by the Performing Arts Center, and providing easier access for children to the facility and to parking. In this concept, the radius of the circle could be reduced to 130' leaving more developable areas for commercial and residential uses. The inner circle keeps the Armory building and adds a new museum and the remainder of the circle becomes a multi-use sustainable plaza that offers outdoors rooms for a variety of uses ranging from a playground to a grove of fruit trees.

Maria Rosario also presented options for commercial and residential development in the Cultural District based on the General Plan FAR and proposed height in the Downtown Master Plan. She pointed out that in order to obtain 3-story courtyard buildings as per the Downtown Master Plan, extra FAR

would be needed. However 2-story courtyard buildings would be feasible to accommodate 35 du/acre (with bonus for mixed-use projects).

Other issues presented were street cross-sections, concepts for gateway and sidewalk treatment, and renderings for the public realm, as well as contemporary alternative concepts for street furniture.

In the Historic District, Maria pointed out that the main objective is to preserve the character of the area in accordance with the principles in the Downtown Master Plan. In the Public Realm, a short term alternative for Main Street reconfiguration was presented, to accommodate outdoor dining without having to rebuild the entire street. The alternative proposes keeping existing diagonal parking, trees and curbs and replacing some parking spaces with temporary removable platforms for outdoor dining.

In the private realm, Maria presented alternative concepts for infill development that take into account grade change to accommodate parking. This alternative proposes the development of some blocks between Main and Spring Streets with mixed-use commercial / residential buildings and creating paseos and courtyards linked to Main Street. Structured parking would be placed at the lower Spring Street level. Sulphur Street would remain open as additional access to the proposed parking structure at the Waterfront District.

The potential for the addition of two-story residential buildings over existing buildings at the time of earthquake retrofit was also presented, including a brief discussion on materials, colors, textures, and signs.

A more contemporary set of street furniture that complements the existing historic look on Main Street was presented as alternative for other streets in the Historic District.

At the Waterfront District, the main issue presented was the connectivity between Sulphur and Prospect Streets to allow for easier accessibility to the parking structure proposed in the Downtown Master Plan. The re-alignment of Prospect Street would offer opportunity for infill development and the creation of pocket parks, and paseos linked to the proposed City Hall / Council Chambers building.

At the end of the presentation, a street tree palette per the Downtown Master Plan street classification was presented for the entire "Key to Downtown" area.

Attached are boards presented, photos of the model, and the Comment Sheet provided at the meeting. After the presentation, the meeting was open for comments.

#### COMMENTS RECEIVED

**Comment 1:** One attendee was concerned that people will be removed from their homes to implement this plan. The commenter wanted to know if the city had spoken with property owners and residents being affected by the plans.

**Maria Rosario** stated that she assumed the city has been communicating with property owners at previous community meetings on the downtown master plan.

...

**Comment 2:** Commenter noted that the outdoor dining patio for Guadalajara Restaurant on Main Street is actually a city owned park that is leased to the restaurant. She felt it should be available to all residents, and not only accessible to restaurant patrons.

...

**Comment 3:** Commenter, who previously worked for the County for many years implementing over 25 libraries, felt that the size of the proposed library is undersized, and should be at least 25,000 square feet. She recommended that the square footage for a library should be half the population of the city (52,000) in which it is located. Additionally, she noted the following:

- children should not have to cross a major street to access the library
- parking should be close to library
- a one story library is better than a two story library, because it is more difficult for staff to manage a two story building.
- there should be a drive in book depository
- the library be one large space rather than divided into different zones, due to the difficulty in a limited number of staff having to monitor each zone.

**Maria Rosario** stated the library was planned for 17,000 sq ft but 25,000 sq ft could be accommodated. **Elaine Carbrey** responded that some libraries have secure outdoor reading rooms, and this has been very successful.

**Commenter 3** responded that she likes the library in Temecula that has an outdoor area for children.

...

**Comment 4:** Commenter wanted to know where funding for the project was coming from.

**Maria Rosario** replied that a grant from SCAG was made to fund this study and create the design guidelines and standards. She noted that the guidelines would prepare the city for future development, even if additional funding to pay for the plans is not immediate. Maria stressed that the cities that have clarity in their plans will be the first to attract development when the economy picks up, as developers like clarity.

**Matt Harris** noted that the project could take thirty to forty years to be realized, and that various public/ private partnerships might be one way to fund the plan. Additionally, grants could be obtained over time to help fund the plans. He emphasized that the first step is to work out the plan, and it would be carried out over time.

...

**Comment 5:** Concern was made that the proposed plans will result in the demolition of historical buildings. The commenter wanted to know why the historical buildings couldn't be kept. She said that her family has lived in Lake Elsinore since the 1920s, and likes the small town feeling of Lake Elsinore. She emphasized that Lake Elsinore is not a large urban area like Los Angeles, Orange County, or Washington DC, and wanted to keep Main Street the way it is.

**The Gruen Team** showed the Main Street concept for the Historic District that kept historic facades.

...

**Comment 6:** Commenter wanted to know what would happen to the historical Ambassador Hotel on Main Street as it is in disrepair.

**Mr. Buckley** noted that it would be demolished, as it was not historic.

**Commenter 6** wanted to know why the city doesn't make the owner clean it up. She said the owner should clean it up like everyone else in downtown has had to do with their properties. She said it should be restored as a hotel, and was unhappy with its dilapidated condition.

**Mr. Buckley** replied that the hotel should undergo a complete renovation, possibly as office space. He noted that the key to downtown should be viewed as part of a larger project, which is the creation of five districts stretching from the 15 Freeway to the lake.

...

**Comment 7:** More details were requested about a proposed train station at the north end of Main Street near the 15 Freeway.

**Mr. Buckley** said this was the train station was just a possibility, and could be a Metrolink station or a High Speed Rail station. However, he noted that both were unlikely to happen soon.

...

**Comment 8:** Commenter wanted to know more about façade grants, in particular for the market located on Heald and Spring Streets. She asked where the grants will come from, and how will the property owners obtain them.

**Mr. Buckley** responded that property owners might apply for grants, or money might be given to them along with ideas on how to change the look of the exterior. He stressed that he wanted to market to stay in downtown.

**Maria Rosario** noted that there could be a potential pedestrian connection between the market and the circle in the Cultural District.

...

**Comment 9:** Commenter wanted to know more about the architectural themes. He wondered about having a more “Frank Gehry” look or updated look for the other districts that is different from the Historic District.

**Maria Rosario** responded that some areas will have a more contemporary look. Traditional materials could be used, but would be placed in more contemporary forms and shapes.

**Commenter 9** noted that Bilbao in Spain has a modern Frank Gehry building located adjacent to a historical area.

**Mr. Buckley** said that the concept is that the more modern buildings will be located near the freeway and at the lake, and the Historic District and adjacent areas will have a more traditional look. He spoke about an artist in North Carolina that is created a “shimmer wall” on a building there, and that this would be part of the more modern look for the proposed city hall.

...

**Comment 10:** Commenter wanted to know about the process of architectural review for each project once the draft General Plan is adopted. Specifically, he wanted to know who would review each project and give approval.

**Maria Rosario** said that the purpose of creating guidelines in our manual will be to provide clarity for developers and simplify the approval process, which will be done by city staff.

**Matt Harris** said that all plans will go through the planning commission for design review; however, an EIR was still outstanding, and it was uncertain if some larger individual projects in the Downtown area might require an EIR after the guidelines were approved.

**Commenter 10** noted that some cities have architectural review committees.

**Matt Harris** said that Lake Elsinore does not have an architectural review committee. This task is currently performed by the planning commission.

...

**Comment 11:** Commenter wanted to include a municipal court as part of the plans, as there was once a municipal court in Lake Elsinore but it is currently located in Temecula.

**Matt Harris** responded that a municipal court was not currently in the scope, but the post office may move back to Main Street in the Cultural District.

...

**Comment 12:** Commenter requested to know when the study for the Waterfront District will happen – specifically for the proposed hotel and pier.

**Matt Harris** responded that a study for the Waterfront is not part of this grant, as only the area that falls within the Key to Downtown was included. Analysis for the Waterfront will take place at a future date, when additional funds become available.

...

**Comment 13:** Commenter inquired as to when the pier will be built, and as to how it will be funded. He thought the building of the pier should be done soon, as it could add a lot of value to downtown and help stimulate development.

...

**Comment 14:** Commenter asked about developer incentives.

**Matt Harris** replied that there could be density and parking incentives, and that there are many other kind of incentives that the city could give.

...

**Comment 15:** Commenter stated that there is currently too much red tape and related expenses to get building plans approved in Lake Elsinore.

...

**Comment 16:** Commenter requested a new bridge be built over Temescal Wash at Pottery Street to replace the one that was demolished and never rebuilt.

...

After the comments were addressed, the Consultant team stayed at the presentation boards and received additional comments from the community. Members of the community were asked to leave their comments at the sign-in desk or to mail them in as soon as possible.

## A.2 Powerpoint Presentation

The images depicted below and on the following pages are from the Powerpoint presentation shown at the Lake Elsinore community workshop meeting on April 17, 2010. The Powerpoint introduced the various alternative design concepts for the Key to Downtown area to the attendees for discussion, and was presented by Elaine Carbrey and Maria Rosario from Gruen Associates.

|   |  |
|---|--|
|  <p>Lake Elsinore</p> <p><b>"Key to Downtown" Implementation Plan</b></p>  <p>Community Workshop April 17, 2010</p>   | <p><b>Mobility</b></p> <p><b>Livability</b></p> <p><b>Prosperity</b></p> <p><b>Sustainability</b></p>  <p>Getting where we want to go</p> <p>Creating positive communities</p> <p>Long-term health for the region</p> <p>Promoting efficient use of natural resources</p> <p><b>Compass Blueprint Principles</b></p>  |
|  <p><b>Downtown Master Plan Guiding Principles</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Celebrate the lake</li> <li><input type="checkbox"/> Create a vibrant and sustainable Downtown</li> <li><input type="checkbox"/> Create a civic identity</li> <li><input type="checkbox"/> Improve walkability &amp; connectivity</li> <li><input checked="" type="checkbox"/> <b>Develop urban framework and guidelines</b></li> </ul> | <p><b>"Key to Downtown Implementation Plan"</b></p>   <p>Cultural</p> <p>Historic</p> <p>Waterfront</p>  |



**Private Realm**

**Cultural District Land Use** Mixed-Use Commercial

**Examples of Mixed-Use developments in Oregon and Virginia**

**Private Realm**

**Cultural District** Mixed-Use Residential

3-story 2-story 3-story

70 units **A** **B** **C**

**Private Realm**

**Cultural District** Mixed-Use Residential

**Examples of Mixed-Use, Live-Work and Residential developments in the Los Angeles area, Portland, and Miami.**

**Public Realm**

**The Circle**

172' radius 100' x 80' ellipse

Washington Circle - DC City of Orange - CA

**Public Realm**

**The Circle**

150' radius 130' radius

**Option 1**  
Downtown Master Plan  
Library and Historic Museum within The Circle **1**

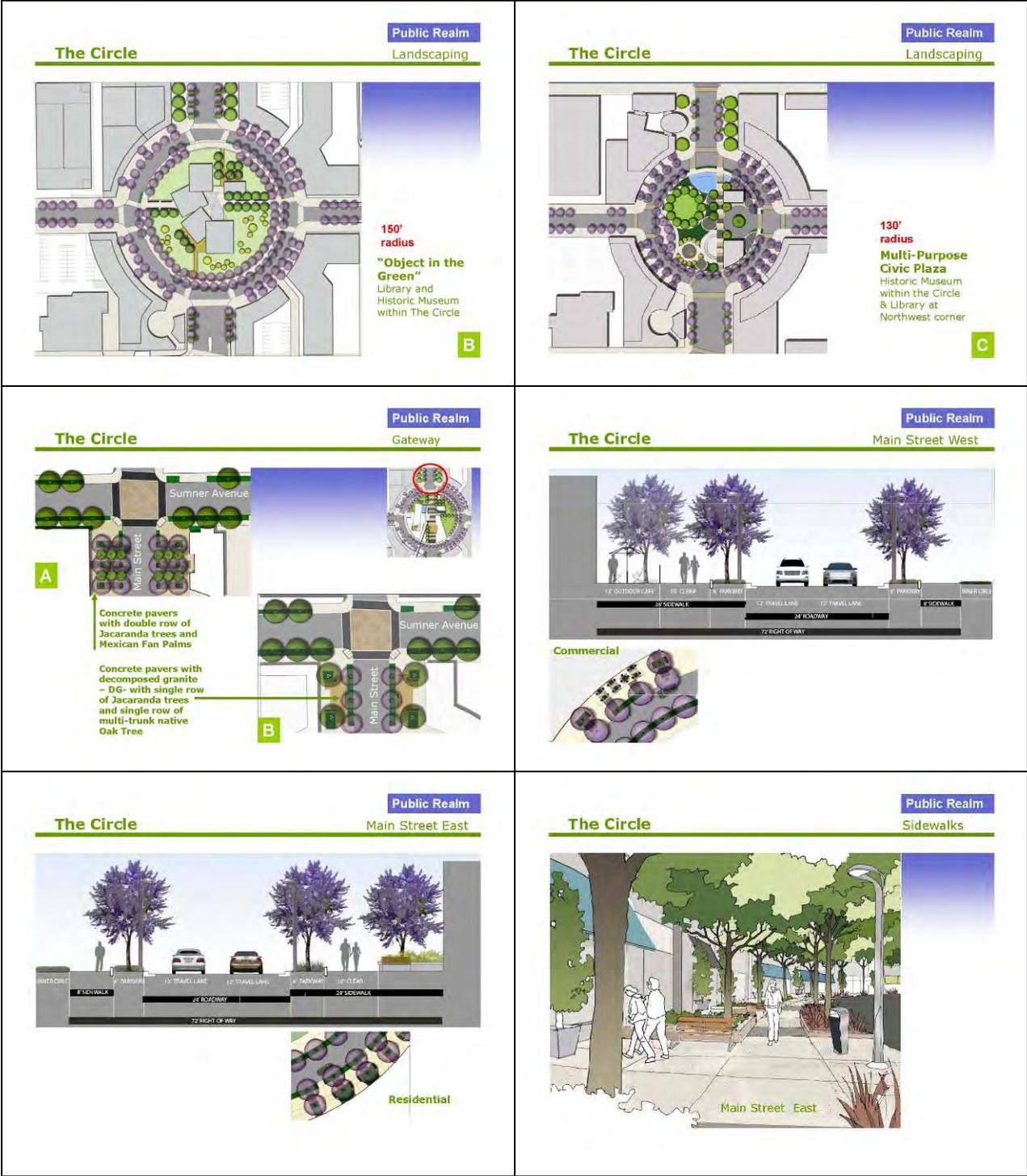
**Option 2**  
Civic Plaza  
Historic Museum within the Circle  
Library at Northwest corner **2**

**Public Realm**

**The Circle** Landscaping

150' radius

**Civic Buildings**  
Library and Historic Museum within The Circle **A**



**The Circle**

Public Realm  
Landscaping

150'  
radius  
"Object in the Green"  
Library and  
Historic Museum  
within The Circle

**B**

**The Circle**

Public Realm  
Landscaping

130'  
radius  
Multi-Purpose  
Civic Plaza  
Historic Museum  
& Library at  
Northwest corner

**C**

**The Circle**

Public Realm  
Gateway

**A**

Concrete pavers with double row of Jacaranda trees and Mexican Fan Palms

Concrete pavers with decomposed granite - DG- with single row of Jacaranda trees and single-trunk native Oak Tree

**B**

**The Circle**

Public Realm  
Main Street West

Commercial

**The Circle**

Public Realm  
Main Street East

Residential

**The Circle**

Public Realm  
Sidewalks

Main Street East

**Public Realm**  
Street Furniture

**The Circle**

**Historic District**

**History and Culture**

- sense of place
- cultural identity
- unique character
- historic buildings

**Public Realm**  
Streetscape Configuration

**Main Street**

**Short Term solution**  
Existing Main Street with added room for outside dining

**Public Realm**  
Streetscape Configuration

**Main Street**

**Short Term solution**  
Existing Main Street with added room for outside dining

**Public Realm**  
Streetscape Configuration

**Main Street**

**Short Term solution**  
Existing Main Street with added room for outside dining

**Main Street** Public Realm

**Historic District** Public Realm  
Street Furniture

**Main Street** Public Realm

**Historic District** Private Realm  
Infill Development

**Historic District** Private Realm  
Infill Development

**Historic District** Private Realm  
Infill Development

**Historic District**

**Private Realm**  
Infill Development



**Historic District**

**Private Realm**  
Infill Development



**Historic District**

**Private Realm**  
Façade Treatment



**Waterfront District**



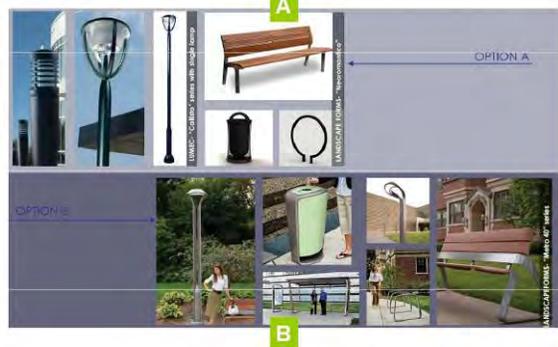
**Waterfront District**

**Public Realm**

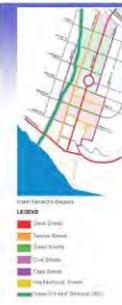


**Waterfront District**

**Public Realm**  
Street Furniture



**Public Realm**  
**Landscape Palette**



| CULTURAL DISTRICT  | HISTORIC DISTRICT  | WATERFRONT DISTRICT   |
|--|--|---|
| <b>ORCHARD STREET TREES</b><br>Main Street<br>Jacaranda mimosifolia-<br>Jacaranda<br>Washingtonia robusta-<br>Mexican Fan Palm | <b>WHEAT STREET TREES</b><br>Main Street<br>Platanus x acerifolia<br>'Bloodgood' - London Plane                                    | <b>WATER STREET TREES</b><br>Main Street<br>Platanus x acerifolia<br>'Bloodgood' - London Plane<br>Phoenix canariensis -<br>Canary Island Date Palm |
| <b>GREEN STREET TREES</b><br>Summer Avenue / Hald Avenue<br>Koeleruteria lupinifolia -<br>Chinese Flame Tree                   | <b>GREEN STREET TREES</b><br>Graham Avenue<br>Eucalyptus sideroxyloii -<br>Red Ironbark  | <b>GREEN STREET TREES</b><br>Limited Avenue<br>Cinnamomum camphora -<br>Camphor Tree  |
| <b>CIVIC STREET TREES</b><br>Franklin Avenue<br>Jacaranda mimosifolia-<br>Jacaranda  | <b>SERVICE STREET TREES</b><br>Spring Street<br>Quercus agrifolia- Coast<br>Live Oak<br>Quercus kelloggii- California<br>Black Oak | <b>SERVICE STREET TREES</b><br>Spring Street<br>Quercus agrifolia- Coast<br>Live Oak<br>Quercus kelloggii- California<br>Black Oak                  |
| <b>EDGE STREET TREES</b><br>Ellis Street<br>Platanus x acerifolia<br>'Bloodgood' - London Plane                                | <b>NEIGHBORHOOD STREET TREES</b><br>Peck Street<br>X Chitalpa tashkentensis-<br>Chitalpa   | <b>NEIGHBORHOOD STREET TREES</b><br>Peck Street<br>X Chitalpa tashkentensis-<br>Chitalpa  |

**Private Realm**  
**Building Materials**

Partial List of Building Materials and Guidelines



**Mixed-Use Residential**

Most durable building materials on the ground floor such as:

- Stone or brick
- Glazed concrete block
- Tile
- Clear glass with wood or anodized aluminum frames
- Clear tempered sliding doors for awnings and firework
- Metal or fabric awnings, and sun shading devices

On 2nd and above floors:

- Smooth finished stucco
- Fiber cement panels
- Metal panels
- Operable windows with anodized or aluminum wood frames and sun shading devices
- Reynold materials
- Articulated facades with clerks, balconies and 'sunshed' windows
- Diapered balconies
- Changes in materials at changes in planes

**Mixed-Use Commercial / Institutional**

- Terzo metal
- Brick
- Tile
- Copper
- Glass curtain walls or metal panels at key special features such as entry canopies
- Smooth finished stucco in areas requiring long maintenance
- Clear glass for ground floor space with commercial storefront openings
- Operable windows in work spaces
- Overhangs and sun shading devices for windows and skylights

**NEXT STEPS**

**Prepare a Final Report**

**Presentation in a combined Planning Commission / City Council in late June**

**THANK YOU**

GRUEN ASSOCIATES  
ARCHITECTURE PLANNING INTERIOR

### **A.3 Presentation Boards**

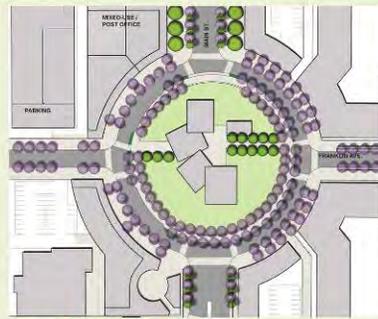
The images depicted on the following pages showcase the boards that were presented at the Lake Elsinore community workshop meeting on April 17, 2010. The boards highlighted the alternative design concepts for the Key to Downtown area.



LAND USE AND CIRCLE DESIGN



**OPTION A- CIVIC BUILDINGS IN THE CIRCLE**  
 • Library, Museum and Armory within the circle with pathway on Main Street alignment  
 • Post Office to replace Performing Arts Center  
 • Outdoor cafe and gathering spaces  
 • Water feature



**OPTION B- "OBJECT IN THE GREEN"**  
 • Library, Museum and Armory as "object" in park circle  
 • Post Office to replace Performing Arts Center  
 • Increased open space for flexible functionality



**OPTION C- MULTI-PURPOSE CIVIC PLAZA**  
 • Library on westside of circle; Armory and Museum within the circle  
 • outdoor amphitheater  
 • children's playground  
 • water feature

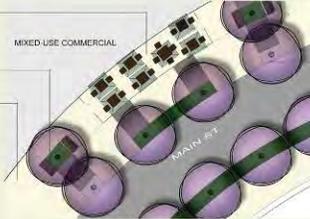
MAIN STREET CIRCLE STREETSCAPE

I - WESTSIDE CIRCLE

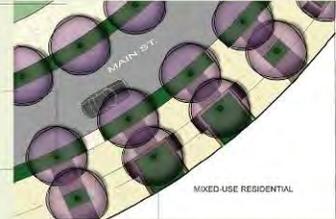
II - EASTSIDE CIRCLE



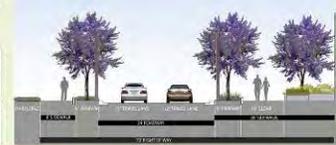
- OUTDOOR CAFE AREA**
- SEATING NODE**
- INTEGRAL COLOR CONCRETE**
- light sandblast finish
  - cream color in field
  - charcoal color accent



- INTEGRAL COLOR CONCRETE**
- light sandblast finish
  - cream color in field
  - charcoal color accent banding
- TREE WELLS WITH DECOMPOSED GRANITE**
- DOUBLE ROW OF JACARANDA STREET TREES**



- PLANTED BIOSWALE PARKWAYS**
- buffer street and pedestrian zones
  - clean and filtrate runoff
- RAISED FLOW-THRU PLANTERS WITH SEATING WALLS AND BENCHES**
- downspouts drain into planters for infiltration and rainwater harvesting



Mixed-Use Residential along Main St.



DISTRICT GATEWAY

OPTION A- PRECAST PAVER PLAZA

OPTION B- DECOMPOSED GRANITE PLAZA



- DECORATIVE CROSSWALK**
- precast concrete paver
  - integral color concrete center pattern
- ARCHITECTURAL PAVER**
- 24" X 36" X 2"
  - Tudor texture
  - cream color field pavers
- TREE WELL PLANTING**
- drought tolerant
  - flowering accent planting
- MAIN STREET TREE**
- JACARANDA  
 MEXICAN FAN PALM  
 (see downtown master plan plant palette)



- DECORATIVE CROSSWALK**
- precast concrete paver
  - integral color concrete center pattern
- PLANTERS WITH CUSTOM IPE BENCHES**
- multi trunk California Sycamore
  - drought tolerant understory planting
- DECOMPOSED GRANITE PLAZA**



STREET FURNITURE PALETTE



OPTION A- CONTEMPORARY ASSEMBLAGE

OPTION B- METRO 40 SYSTEM

KEY TO DOWNTOWN IMPLEMENTATION PLAN  
 LAKE ELSINORE

GRUENASSOCIATES  
 ARCHITECTURE PLANNING INTERIORS

STREETSCAPE CONFIGURATION

OPTION A- RECONFIGURE STREET

OPTION B- PRESERVE EXISTING

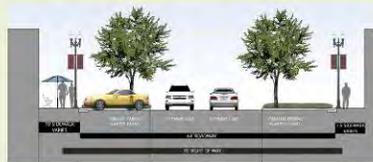


- INCREASED AREA FOR OUTDOOR DINING
- TEMPORARY OUTDOOR DINING DECK
- EXTENDED SIDEWALKS
- PARALLEL PARKING WITH POROUS PAVEMENT
- TREE WELL PLANTING
  - drought tolerant
  - flowering accent planting



OPTION A- RECONFIGURE STREET

- Parallel parking replaces diagonal parking with widened sidewalks.
- Retain existing street trees with reconfigured curbs
- Retain existing brick paving with an additional integrated paving pattern
- New street lights and site furniture



OPTION B- SHORT TERM SOLUTION/PRESERVE EXISTING

- Retain existing streetscape
- Retain existing diagonal parking
- Retain existing pop-out curbs
- Extra parking spaces become movable temporary outdoor dining decks



BEFORE

- Retain existing benches, lights, waste receptacles, brick and concrete paving
- Introduce LED mini-lights into street trees
- Replace ballards with new "Annapolis" ballards
- Update built-in planter walls with new precast caps and plaster veneer pilasters
- Update existing free standing pots with new precast concrete pots



AFTER ENHANCEMENTS



Temporary outdoor dining deck along Main St.

STREET FURNITURE PALETTE



OPTION A- PRESERVE EXISTING SITE FURNITURE



OPTION B- NEW SITE FURNITURE

KEY TO DOWNTOWN IMPLEMENTATION PLAN

LAKE ELSINORE

GRUENASSOCIATES  
ARCHITECTURE PLANNING INTERIORS

INFILL DEVELOPMENT



FACADE TREATMENT



awnings - materials - texture - colors - accent - signage - banners



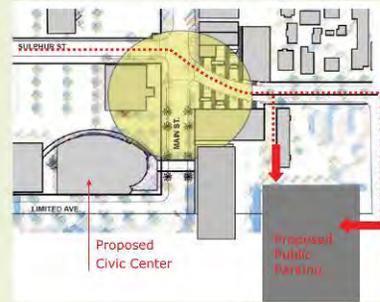
STREETScape CONFIGURATION



PARALLEL PARKING WITH POROUS PAVEMENT

MAIN STREET TREE  
LONDON PLANE TREE  
CANARY ISLAND DATE PALM  
\*on downtown master plan plant palette

PLANTED BIOSWALE PARKWAYS  
• buffer street and pedestrian zone  
• clean and filtrate runoff



Proposed Civic Center

Proposed Public Parking

STREET CONNECTIVITY  
SULPHUR ST. TO PROSPECT ST.

PLANTED BIOSWALE PARKWAYS  
• buffer street and pedestrian zone  
• clean and filtrate runoff

CIVIC PLAZA  
• integral color concrete bands  
• vibrant radial paving pattern  
• nodes with drought tolerant planting and seating walls

PEDESTRIAN BRIDGE  
a link to City Council and the "Gateway" into the Waterfront District

WATER FEATURE  
new fountain in front of City Hall with the words "The City of Lake Elsinore" rising out of the water

LIMITED STREET TREE  
CAMPHOR TREE  
\*on downtown master plan plant palette



STREET FURNITURE PALETTE



OPTION A - CONTEMPORARY TRANSITION FROM HISTORIC



OPTION B - METRO 40 SYSTEM

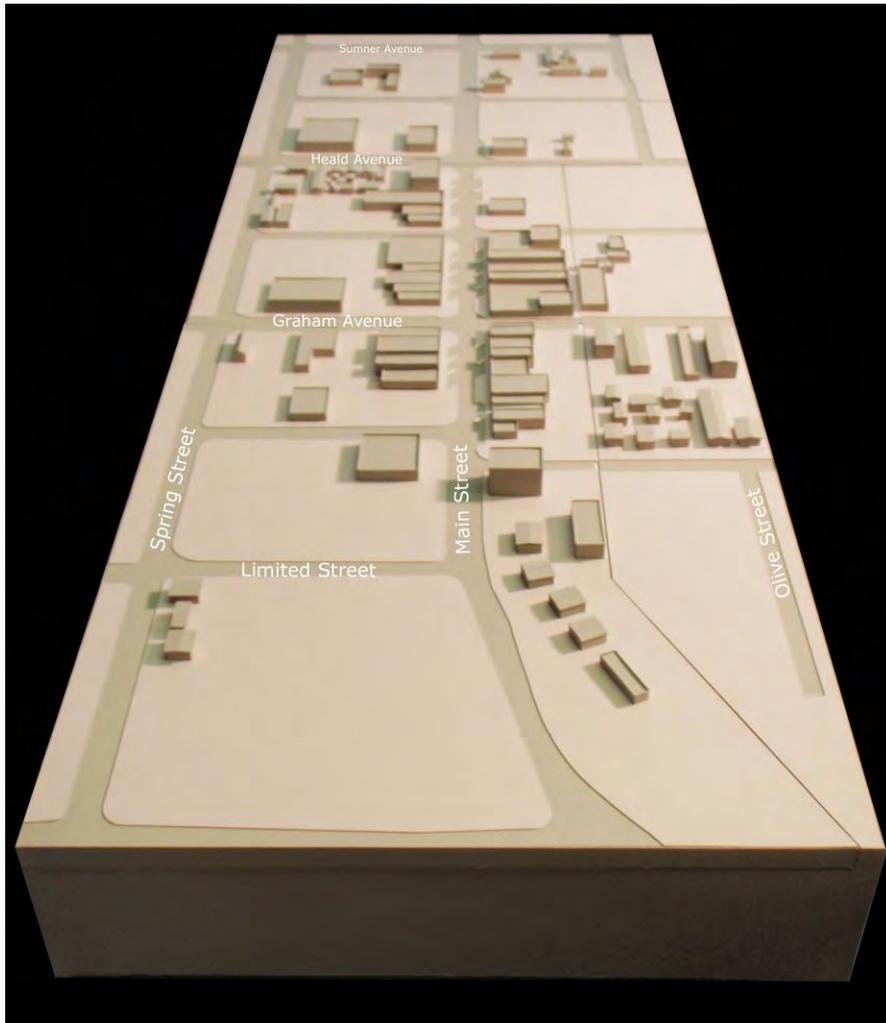
KEY TO DOWNTOWN IMPLEMENTATION PLAN  
LAKE ELSINORE

GRUENASSOCIATES  
ARCHITECTURE PLANNING INTERIORS

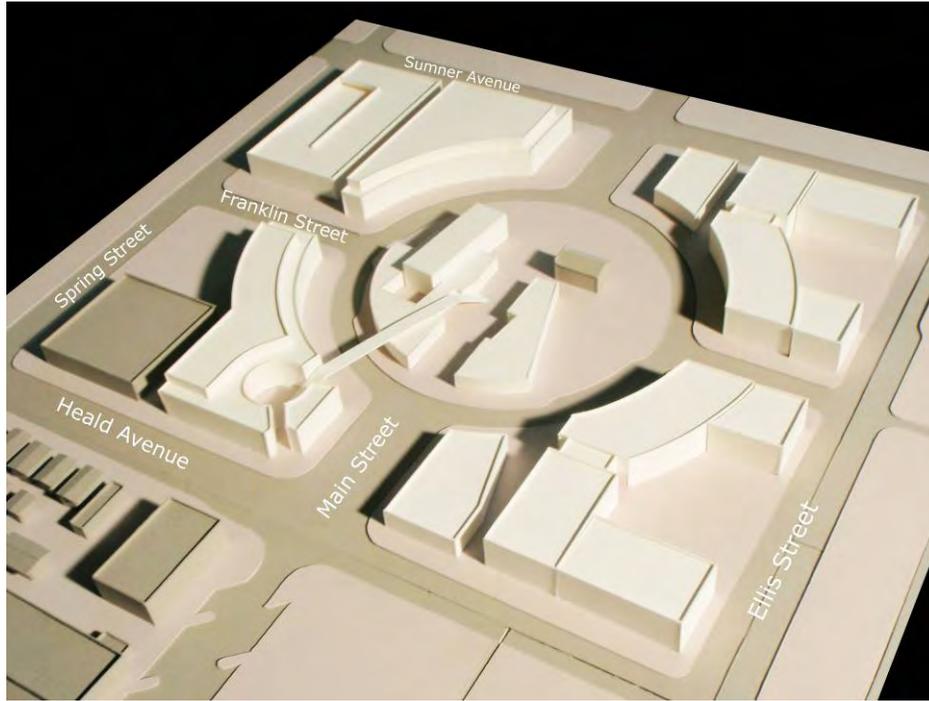
## A.4 Key to Downtown Model

The model pictured in this section was presented at the Lake Elsinore community workshop on April 17, 2010. It shows the existing conditions of the area that falls within the Key to Downtown, as well as various alternatives for the proposed Cultural District, existing Historic District, and proposed Waterfront District. The model complemented a Powerpoint presentation about the design concepts for the Key to Downtown area.

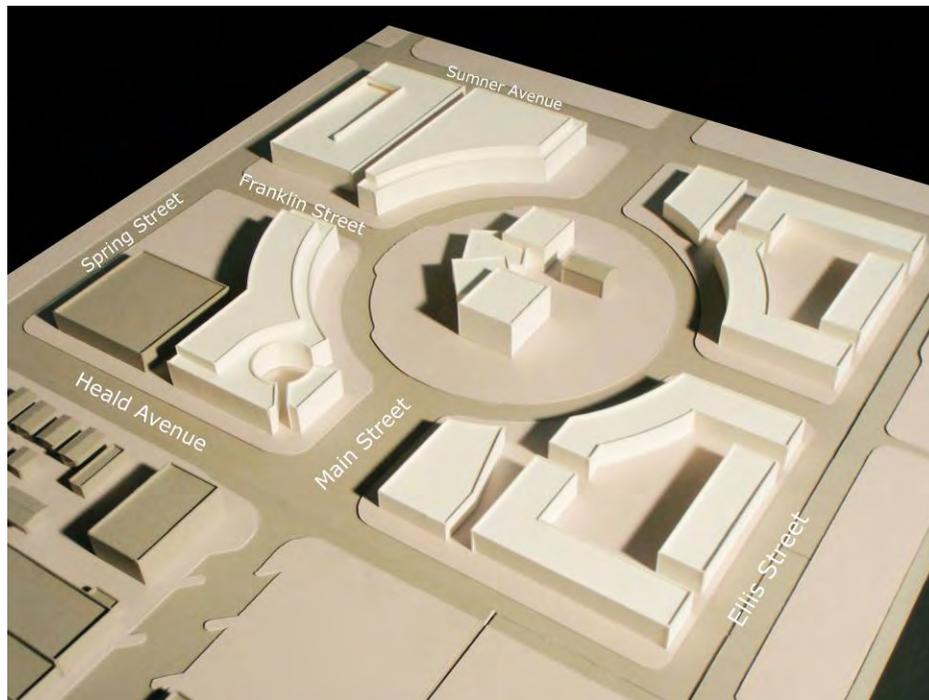
### A. Existing Conditions



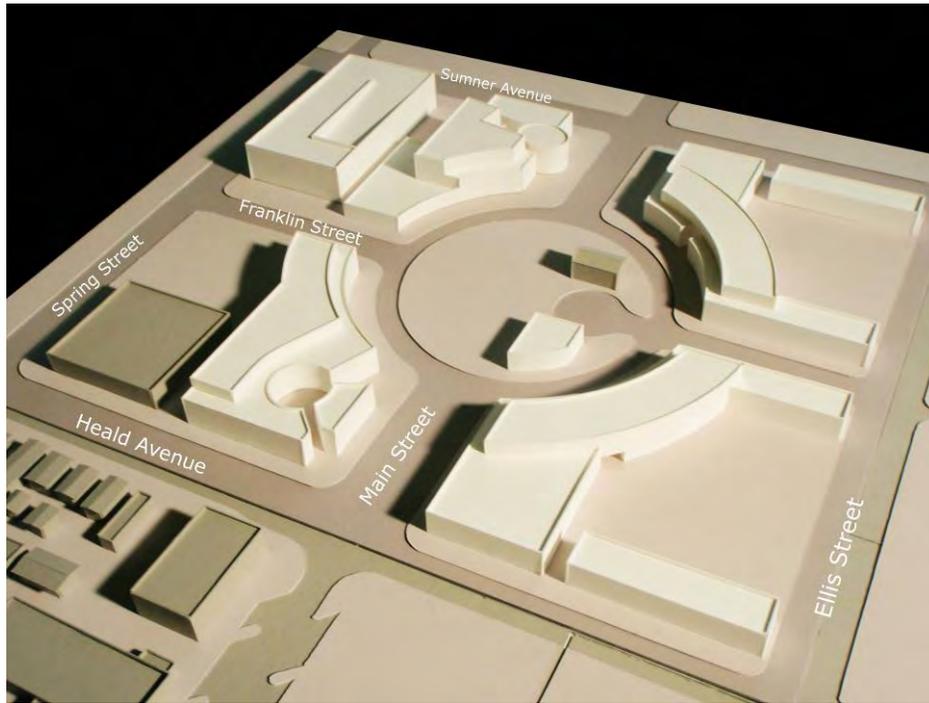
## B. Cultural District Alternative A



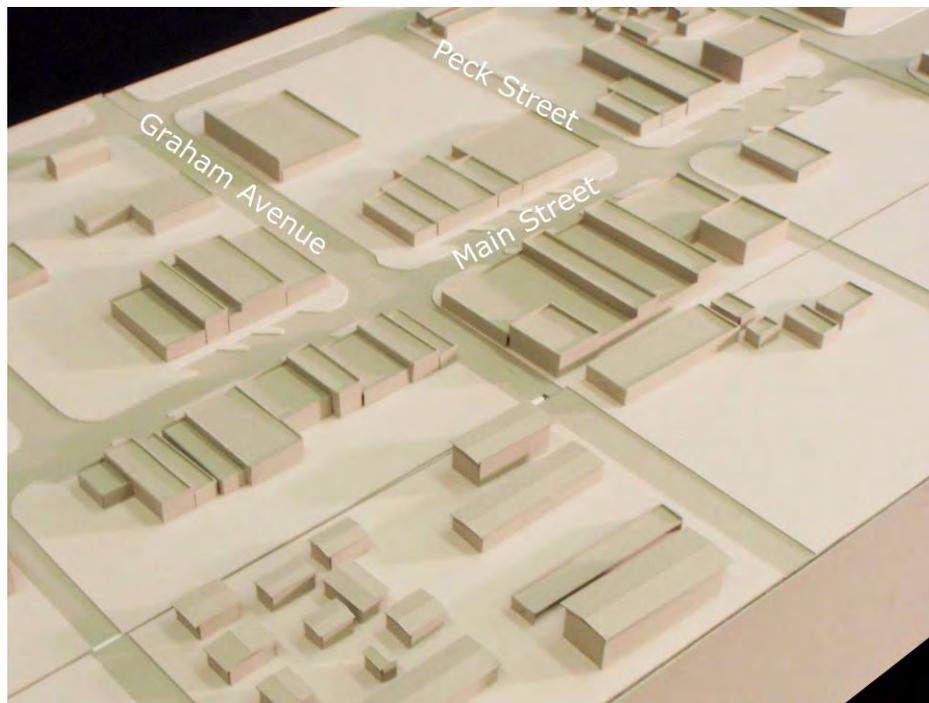
## C. Cultural District Alternative B



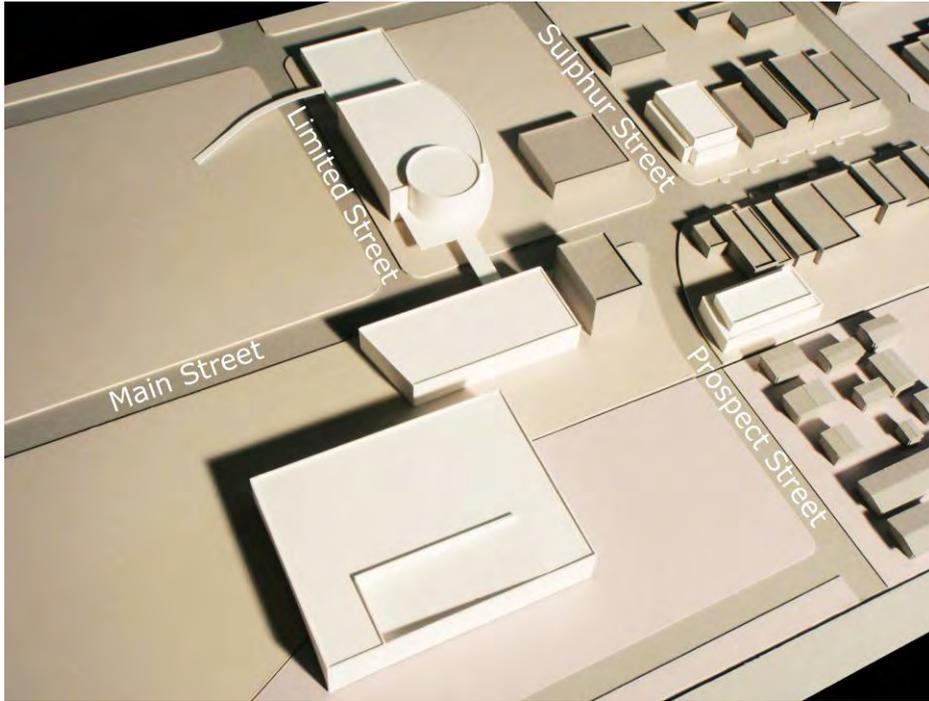
### D. Cultural District Alternative C



### E. Historic District



**F. Waterfront District**



## **A5. Community Workshop Comment Booklet**

The document shown below is the Comment Booklet given to attendees of the Community Workshop held on April 17, 2010. The attendees wrote their comments in the booklet based on the presentation given during the workshop. Gruen Associates used the feedback to refine the conceptual designs for the Key to Downtown area.

# Key to Downtown Implementation Plan

City of Lake Elsinore

## Community Workshop Comment Booklet

April 17, 2010

### City of Lake Elsinore Downtown Master Plan Implementation - the 'Key' to downtown



EXHIBIT D



downtown master plan - may 2009

**GRUEN ASSOCIATES**  
ARCHITECTURE PLANNING INTERIORS



| LAND USE AND CIRCLE DESIGN – Board 2 (check one)  | Comments |
|---|----------|
| <ul style="list-style-type: none"> <li>■ Option A – <b>Civic buildings in the circle</b> - library, museum, Armory in circle with pathway on Main Street alignment <ul style="list-style-type: none"> <li>– Post Office to replace Performing Arts center on west side of circle</li> </ul> </li> <br/> <li>■ Option B – <b>Object in the Green</b> - library, museum, Armory as object in park circle <ul style="list-style-type: none"> <li>– Post Office to replace Performing Arts Center</li> </ul> </li> <br/> <li>■ Option C – <b>Multi-Purpose Civic Plaza</b> -library on west side of circle, Armory and museum in drought-tolerant circle plaza with edible planting, sustainable landscape, and outdoor rooms with recreational activities</li> </ul> |          |
| <b>MAIN STREET CIRCLE STREETSCAPE - Board 2</b>   |          |
| <p><b>Westside Circle (comment on the following)</b></p> <ul style="list-style-type: none"> <li>• Room for outdoor dining</li> <li>• Parkway for Jacaranda trees, ground water recharge/infiltration and furnishings</li> <li>• Sidewalk minimum 10 ft-wide for strolling</li> <li>• Cream color and charcoal integral color concrete</li> <li>• Ground level retail, restaurants, and civic uses adjacent</li> </ul>   |          |
| <p><b>Eastside Circle (comment on the following)</b></p> <ul style="list-style-type: none"> <li>• Double row of trees</li> <li>• Parkway for Jacaranda trees, ground water recharge/infiltration and furnishings</li> <li>• Raised planters for water recharge</li> <li>• Cream color and charcoal integral color concrete</li> <li>• Ground level retail, services and/or residential stoops adjacent</li> </ul>   |          |
| <p><b>Inner Circle (comment on the following)</b></p> <ul style="list-style-type: none"> <li>• Decomposed granite pathway and/or concrete pathway</li> <li>• Jacaranda trees</li> <li>• Cutouts for emergency / service parking</li> <li>• Limited parking for disabled and drop-off</li> </ul>   |          |
| <b>GATEWAY – Board 2 (check one)</b>  |          |
| <ul style="list-style-type: none"> <li>■ Option A – Concrete paving</li> <br/> <li>■ Option B – Decomposed granite and concrete</li> </ul>  |          |

| <b><i>STREET FURNITURE – Board 2 ( check one)</i></b>  | <b><i>Comments</i></b> |
|--|------------------------|
| <ul style="list-style-type: none"> <li>■ Option A – Contemporary assemblage</li> <li>■ Option B – METRO 40 System</li> </ul> |                        |

|  |
|--|
| <b><i>HISTORIC DISTRICT PUBLIC REALM - Board 3</i></b> |
|--|

|   |  |
|---|--|
| <p><b><i>Main Street Streetscape Configuration (check one or two)</i></b></p> <ul style="list-style-type: none"> <li>■ Option A – Reconfigure diagonal parking to parallel parking with permeable paving once additional parking provided</li> <li>■ Option B – Short-term solution including temporary dining platform and upgrading of seating areas</li> </ul> <p><b><i>Street Furniture Palette</i></b></p> <ul style="list-style-type: none"> <li>■ Option A – Refurbish existing street furnishings</li> <li>■ Option B – New site furniture</li> </ul> |  |
|---|--|

|   |
|---|
| <b><i>HISTORIC DISTRICT PRIVATE REALM - Board 4</i></b> |
|---|

**Comments on internal paseo / courtyards and option for parking on lower level:**

**Comments on Sulphur Street remaining open:**

**Comments on Infill Development Concepts:**

**Comments on façade treatment, awnings, signage, color and materials:**

**STREETSCAPE CONFIGURATION / WATERFRONT DISTRICT - Board 5**

Comments on keeping Sulphur Street open and improving access to future parking:

Comments on Paseo and pocket parks at Civic Building and Sulphur / Main / Prospect Streets intersection:

**STREET FURNITURE - Board 4 (check one)**

**Comments**

- Option A – Contemporary transitioning from historic
- Option B – METRO 40 System

**LANDSCAPE PALETTE (Board 1)**

Comments on landscape palette shown on Board 1:

Cultural District:

Historic District:

Waterfront District: